

**SECOND AMENDMENT TO
DECLARATION OF CONDOMINIUM OF
OCEANIQUE OCEANFRONT, A CONDOMINIUM**

THIS SECOND AMENDMENT TO DECLARATION OF CONDOMINIUM OF OCEANIQUE OCEANFRONT, A CONDOMINIUM (the "Amendment") is made as of the 23 day of January, 2009, by OCEANIQUE DEVELOPMENT COMPANY, INC., a Florida corporation (the "Developer"), pursuant to the authority reserved in Article 6 of that certain Declaration of Condominium of OCEANIQUE OCEANFRONT, A CONDOMINIUM, recorded on February 1, 2007, in Official Records Book 2752, Pages 1842, of the Public Records of St. Lucie County, Florida (the "Declaration").

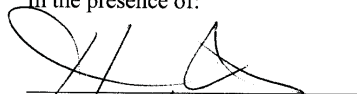

NOW, THEREFORE, in consideration of the premises and for other good and valuable consideration, the receipt of which is hereby acknowledged, and pursuant to the terms and authority contained in the Declaration, the Developer hereby amends the Declaration, as follows:

1. Survey and Certificate of Surveyor. This Second Amendment to the Declaration is amended to include the Surveyor's Certificate to reflect substantial completion of Building "A".

THIS AMENDMENT DOES NOT CHANGE THE CONFIGURATION OR SIZE OF ANY PREVIOUSLY EXISTING CONDOMINIUM UNIT, DOES NOT ALTER OR MODIFY THE APPURTENANCES TO ANY PREVIOUSLY EXISTING UNIT AND DOES NOT CHANGE THE PROPORTION OR PERCENTAGE BY WHICH THE OWNERS OF UNITS SHARE THE COMMON EXPENSE AND SURPLUS.

IN WITNESS WHEREOF, the Developer has caused this Amendment to be executed as of the 23 day of January, 2009.

In the presence of:


print name: Heather Jenkins

print name: THORSLUT W BENSON

OCEANIQUE DEVELOPMENT COMPANY, INC.,
a Florida corporation

By: 
MAURICE KODSI, President

Address: Post Office Box 320637
Cocoa Beach, FL 32931

STATE OF FLORIDA
COUNTY OF BREVARD

The foregoing instrument was executed before me, an officer duly authorized in the state and county aforesaid to administer oaths and to take acknowledgments, this 23 day of January, 2009, by Maurice Kodsi, as President of Oceanique Development Company, Inc., who is personally known to me or produced _____ as identification.

[SEAL]

NOTARY PUBLIC

My commission expires:



HEATHER M. JENKINS
MY COMMISSION # DD 550916
EXPIRES: September 11, 2010
Bonded Thru Budget Notary Services

OCEANIQUE OCEANFRONT A CONDOMINIUM

SURVEYOR'S CERTIFICATE

COUNTY OF ST. LUCIE - STATE OF FLORIDA
SECTION 23, TOWNSHIP 34 SOUTH, RANGE 40 EAST.

GENERAL NOTE

THE COMMON ELEMENTS CONSIST OF ALL PROPERTY INCLUDED IN THE CONDOMINIUM AND PLOT PLANS THEREOF, SAID PLOT PLANS BEING DESIGNATED AS EXHIBIT "A", SHEETS 1 THROUGH 47 INCLUSIVE, LESS ANY AND ALL PROPERTY INCLUDED WITHIN ANY AND ALL "UNITS". EACH UNIT IS COMPRISED OF AN APARTMENT, THE HORIZONTAL DIMENSIONS OF WHICH, AS SHOWN HEREON, ARE AVERAGE TO THE UNFINISHED INTERIOR OF THE PERIMETER WALLS, THE VERTICAL DIMENSIONS OF WHICH ARE AVERAGE TO THE FINISHED FLOOR AND THE UNFINISHED CEILING. THUS, EACH UNIT CONSISTS OF THE SPACE BOUNDED BY A VERTICAL PROJECTION OF THE UNIT BOUNDARY LINES AS SHOWN HEREON AND THE HORIZONTAL PLANES AT THE FLOOR AND CEILING ELEVATIONS AS SHOWN FOR THE RESPECTIVE BUILDING AND RESPECTIVE FLOOR CONTAINED THEREIN, NOTWITHSTANDING THE ACTUAL LOCATION OF THE WALLS, CEILING AND FLOORS, THE UNITS SHALL CONSIST OF THE SPACE HEREIN DEFINED. FURTHER DEFINITION OF THE UNIT BOUNDARIES IS SET FORTH IN SECTION 3, OF THE DECLARATION OF CONDOMINIUM.

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 22 DAY OF JANUARY, 2009 BY RICHARD A. PUTZ P.S.M. WHO IS PERSONALLY KNOWN TO ME AND WHO DID TAKE AN OATH.

Helen M. Sansone

NOTARY PUBLIC STATE OF FLORIDA
MY COMMISSION EXPIRES: _____
MY COMMISSION NO. IS _____

NOTARY PUBLIC STATE OF FLORIDA



CERTIFICATE OF SURVEYOR

THE UNDERSIGNED, BEING A PROFESSIONAL SURVEYOR AND MAPPER AUTHORIZED TO PRACTICE IN THE STATE OF FLORIDA, PURSUANT TO SECTION 718.104(4)(E), DOES HEREBY CERTIFY THAT:
A SURVEY HAS BEEN MADE OF THE LANDS SHOWN HEREON, AND THAT THIS PLOT PLAN, WHICH INCLUDES THE SURVEY, IS DESIGNATED AS EXHIBIT "A" TO DECLARATION OF CONDOMINIUM AND THAT RELATING TO MATTERS OF SURVEY, THE CONSTRUCTION OF BUILDING "B" UNITS 201 THROUGH 1305 AND THE BUILDING CONTAINING SAID UNITS, AND BUILDING "C". BUILDING "A" UNITS 201 THROUGH 1307 AND THE BUILDING CONTAINING SAID UNITS, AND BUILDINGS "D", "E", AND "F", AND ALL PLANNED IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO LANDSCAPING, UTILITY SERVICES AND ACCESS TO THESE UNITS AND BUILDING, AS SET FORTH IN THE DECLARATION ARE SUBSTANTIALLY COMPLETED SO THAT EXHIBIT "A" TOGETHER WITH THE PROVISIONS OF THE DECLARATION DESCRIBING THE CONDOMINIUM PROPERTY, IS AN ACCURATE REPRESENTATION OF THE LOCATION AND DIMENSIONS OF THE IMPROVEMENTS, AND THAT THE IDENTIFICATION, LOCATION AND DIMENSIONS OF THE COMMON ELEMENTS OF EACH UNIT CAN BE DETERMINED FROM EXHIBIT "A" AND THE DECLARATION.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL THIS JAN. 22, 2009 A.D.

B.L.S. & C., INC.
A FLORIDA CORPORATION

DATE: JAN. 22, 2009

Richard A. Putz

RICHARD A. PUTZ P.S.M. #4505
PROFESSIONAL SURVEYOR AND MAPPER
STATE OF FLORIDA
L.B. NUMBER 6610

NORTH BUILDINGS

OCEANIQUE OCEANFRONT, A CONDOMINIUM, CONTAINS BUILDING "B", A 13 STORY BUILDING INCLUDING THE GARAGE LEVEL, WITH A TOTAL OF 60 RESIDENTIAL UNITS.

AND BUILDING "C" CONSISTING OF A 2 STORY DETACHED GARAGE WITH 54 SPACES AND ROOF TOP TENNIS COURT.

SOUTH BUILDINGS

OCEANIQUE OCEANFRONT, A CONDOMINIUM, CONTAINS BUILDING "A", A 13 STORY BUILDING INCLUDING THE GARAGE LEVEL, WITH A TOTAL OF 84 RESIDENTIAL UNITS.

AND BUILDING "D", WHICH IS A 1 STORY DETACHED GARAGE CONTAINING 22 SPACES

AND BUILDING "E", WHICH IS A 1 STORY DETACHED GARAGE CONTAINING 20 SPACES

AND BUILDING "F", WHICH IS A 1 STORY DETACHED GARAGE CONTAINING 24 SPACES

JANUARY 21, 2009

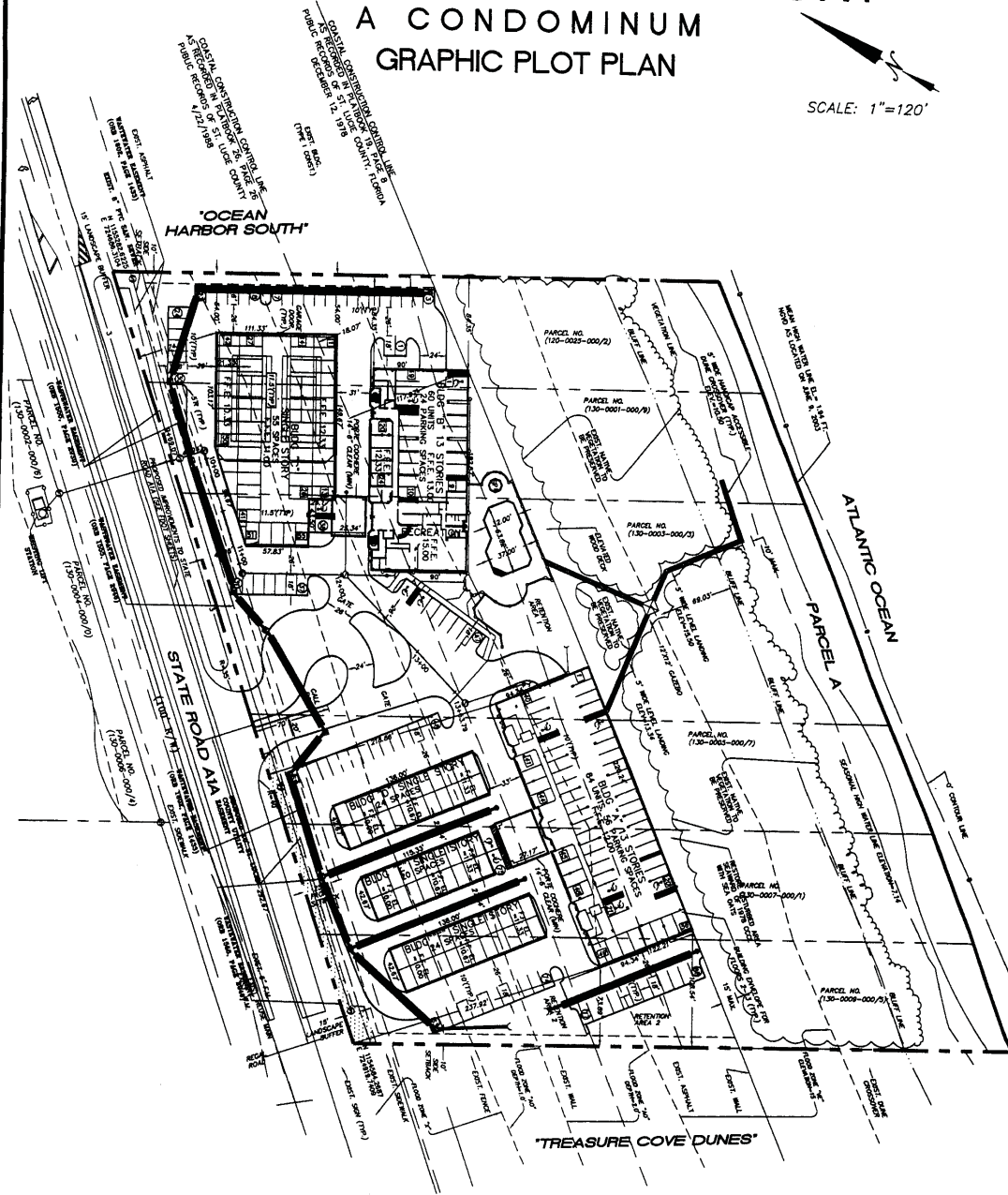
B. L. S. & C. INC.
LAND SURVEYORS
AND CONSULTANTS
37 ASBURY AVE. NE
PALM BAY, FLORIDA 32907
(321)693-4393 FAX (321)726-0602
LAND SURVEYING / LAND PLATTING

OCEANIQUE OCEANFRONT

A CONDOMINIUM

GRAPHIC PLOT PLAN

SCALE: 1"=120'



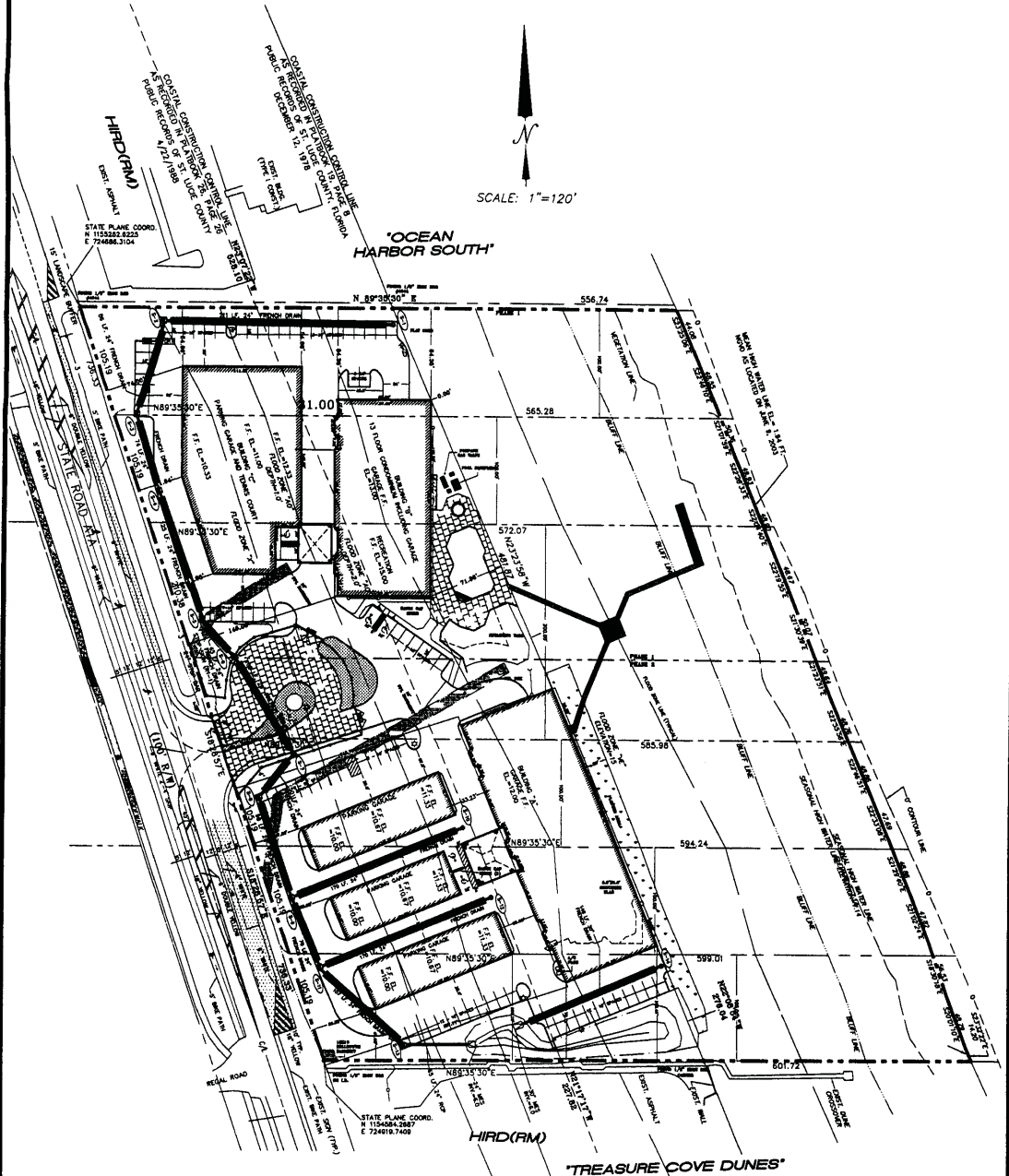
SURVEYOR'S NOTES:

1. OCEANIQUE, A CONDOMINIUM, CONTAINS TWO BUILDINGS, WITH A TOTAL OF 144 RESIDENTIAL UNITS
 BUILDING "A" CONSISTING OF 13 STORIES, FLOORS 2 THROUGH 13, 84 UNITS
 BUILDING "B" CONSISTING OF 13 STORIES, FLOORS 2 THROUGH 13, 60 UNITS
 BUILDING "C" CONSISTING OF A 2 STORY DETACHED GARAGE 54 SPACES
 BUILDING "D" CONSISTING OF A 1 STORY DETACHED GARAGE 24 SPACES
 BUILDING "E" CONSISTING OF A 1 STORY DETACHED GARAGE 20 SPACES
 BUILDING "F" CONSISTING OF A 1 STORY DETACHED GARAGE 24 SPACES
2. ALL AREAS AND IMPROVEMENTS EXCLUSIVE OF THE UNITS ARE COMMON ELEMENTS OF THE CONDOMINIUM.
3. THIS GRAPHIC PLOT PLAN WAS PREPARED UNDER THE DIRECTION OF Richard A. Putz P.S.M. PROFESSIONAL SURVEYOR AND MAPPER STATE OF FLORIDA, NO. 4505 FROM AN APPROVED SITE PLAN PREPARED BY FLEIS AND BENNETT, ENGINEERING INC. PROJECT NUMBER 01.490
4. ELEVATIONS, IF SHOWN HEREON, ARE BASED ON (NATIONAL GEODETIC VERTICAL DATUM, 1929).
5. BUILDING "A" LOWEST FLOOR ELEVATION IS 12.00. HIGHEST TOP OF ROOF ELEVATION 138.00 FEET, (NATIONAL GEODETIC VERTICAL DATUM, 1929).
6. BUILDING "B" LOWEST FLOOR ELEVATION IS 13.00. HIGHEST TOP OF ROOF ELEVATION 138.00 FEET, (NATIONAL GEODETIC VERTICAL DATUM, 1929).

JANUARY 21, 2009

B. L. S. & C. INC.
B LAND SURVEYORS AND CONSULTANTS
 57 ASBURY AVE. NE
 PALM BAY, FLORIDA 32907
 (321) 693-4593 FAX (321) 726-0602
C
 LAND SURVEYING / LAND PLATTING

OCEANIQUE OCEANFRONT A CONDOMINIUM BOUNDARY SURVEY



See report of boundary survey, lands described on page 4 of 47, and lying in ST. Lucie County, Florida.
This map and attached REPORT is not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper which can be found on the REPORT.
The MAP and REPORT are not full and complete without the other.

JANUARY 21, 2009

B. L. S. & C. INC.
B LAND SURVEYORS AND CONSULTANTS

 37 ASBURY AVE. N.E.
 PALM BAY, FLORIDA 32907
 (321) 693-4993 FAX (321) 726-0602
C
 LAND SURVEYING / LAND FLATTING

RICHARD A. PUTZ P.S.M. #4505
 SURVEYING AND MAPPING L.B. #6610
 FIELD BOOK NUMBER: 160

JOB NUMBER 4-1009

EXHIBIT "A"

SHEET 3 OF 47

OCEANIQUE OCEANFRONT

A CONDOMINIUM

Report of Survey

LEGAL DESCRIPTION:

ALL THAT PART OF THE NORTH 100 FEET OF THE SOUTH 1200 FEET OF GOVERNMENT LOT 1, IN THE NORTH 1/2 OF SECTION 23, TOWNSHIP 34 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, LYING EAST OF THE EASTERLY RIGHT-OF-WAY LINE OF ROUTE A-1-A, AS MEASURED AT RIGHT ANGLES TO THE SOUTH LINE OF SAID GOVERNMENT LOT 1 AS SHOWN ON PLAT OF SURVEY OF SAID SECTION 23 RECORDED IN PLAT BOOK B, PAGE 21 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA: CONTAINING 1.35 ACRES, MORE OR LESS

TOGETHER WITH

ALL THAT PART OF THE NORTH 100 FEET OF THE SOUTH 1600 FEET OF GOVERNMENT LOT 1, IN THE NORTH 1/2 OF SECTION 23, TOWNSHIP 34 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, LYING EAST OF THE EASTERLY RIGHT-OF-WAY LINE OF ROUTE A-1-A, AS MEASURED AT RIGHT ANGLES TO THE SOUTH LINE OF SAID GOVERNMENT LOT 1 AS SHOWN ON PLAT OF SURVEY OF SAID SECTION 23 RECORDED IN PLAT BOOK B, PAGE 21 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA: CONTAINING 1.29 ACRES, MORE OR LESS

TOGETHER WITH

THE NORTH 200 FEET OF THE SOUTH 1400 FEET OF GOVERNMENT LOT 1, IN THE NORTH 1/2 OF SECTION 23, TOWNSHIP 34 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA AS MEASURED AT RIGHT ANGLES TO THE SOUTH LINE OF SAID GOVERNMENT LOT 1, AS SHOWN ON THE PLAT OF SURVEY OF SAID SECTION 23, RECORDED IN PLATBOOK B, PAGE 21 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA. LESS THE RIGHT-OF-WAY FOR STATE ROAD A-1-A. CONTAINS 2.27 ACRES, MORE OR LESS

TOGETHER WITH

THE NORTH 100 FEET OF THE SOUTH 1500 FEET OF GOVERNMENT LOT 1, IN THE NORTH 1/2 OF SECTION 23, TOWNSHIP 34 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA AS MEASURED AT RIGHT ANGLES TO THE SOUTH LINE OF SAID GOVERNMENT LOT 1, AS SHOWN ON THE PLAT OF SURVEY OF SAID SECTION 23, RECORDED IN PLATBOOK B, PAGE 21 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA. LESS THE RIGHT-OF-WAY FOR STATE ROAD A-1-A.

TOGETHER WITH

ALL THAT PART OF THE NORTH 100 FEET OF THE SOUTH 1100 FEET OF GOVERNMENT LOT 1, IN THE NORTH 1/2 OF SECTION 23, TOWNSHIP 34 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, LYING EAST OF THE EASTERLY RIGHT-OF-WAY LINE OF ROUTE A-1-A, AS MEASURED AT RIGHT ANGLES TO THE SOUTH LINE OF SAID GOVERNMENT LOT 1 AS SHOWN ON PLAT OF SURVEY OF SAID SECTION 23 RECORDED IN PLAT BOOK B, PAGE 21 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA: CONTAINING 1.37 ACRES, MORE OR LESS

TOGETHER WITH

ALL THAT PART OF THE NORTH 100 FEET OF THE SOUTH 1000 FEET OF GOVERNMENT LOT 1, IN THE NORTH 1/2 OF SECTION 23, TOWNSHIP 34 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, LYING EAST OF THE EASTERLY RIGHT-OF-WAY LINE OF ROUTE A-1-A, AS MEASURED AT RIGHT ANGLES TO THE SOUTH LINE OF SAID GOVERNMENT LOT 1 AS SHOWN ON PLAT OF SURVEY OF SAID SECTION 23 RECORDED IN PLAT BOOK B, PAGE 21 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA: CONTAINING 1.38 ACRES, MORE OR LESS

THE ABOVE DESCRIBED PARCELS ARE LYING EAST OF STATE ROAD A-1-A.

SURVEYOR'S NOTES:

1. Location of underground utilities and underground foundations are not abstracted and have not been located as part of this survey, except as shown.
2. Property situated in Flood Zones "X", "AO-1", "AO-2" and "VE-15" according to the the FIRM MAP for St. Lucie Co., Florida, FIRM MAP NUMBER 12111C0089G Date of FIRM MAP: November 4, 1992.
3. Site Bearings and Elevations are based on the Site Plan for this project and were provided by Fleis and Bennett Engineering, Inc., 2060 Highway A1A, Suite 308, Indian Harbour Beach, Fl. 32937, Project No.: 01.490 Dated: May 2003.
4. Elevations shown are based on National Geodetic Vertical Datum 1929.
5. The boundary survey and topo of this property for site development was prepared by Masteller, Moler & Reed, Inc., 2205 14th. Ave. Suite 308, Vero Beach, Florida 32960, PH. 561-564-8050.
6. This Survey was prepared without benefit of a current title report or Attorney's opinion and therefore may not indicate any encumbrances that may affect the subject property. Property may be subject to easements, restrictions, rights of way, and or covenants of record.
7. There may be some interior improvements that may have not been located or depicted on the Map of Survey.
8. This drawing was checked in the field and is a true representation of improvements. This survey satisfies all state required minimum standards.
9. THE SURVEY DEPICTED HEREON MUST CONTAIN TWO SHEETS (3 OF 47 AND 4 OF 47) SEE NOTE "MAP OF SURVEY" THE SURVEY DEPICTED HEREON IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE.

MAP OF SURVEY:

Map of Survey, Lands as Hereto Described: This Survey map and report are not valid without the signature and original raised seal of a Florida licensed Surveyor and Mapper which can be found at the end of this report. The Map and Report are not full and complete without the other.

DATA SOURCES:

Site Plan information and details provided by Fleis and Bennett Engineering, Inc. Construction Plan Project No.: 01.490, dated June 10, 2003 Revisions 1-8 Dates as shown on site plan 7/17/03 - 09/06/04

BOUNDARY:

The boundary and topographic survey for proposed site development was provided by Masteller, Moler and Reed, Inc. Job No.: 01-4810.02 Dated June 15, 2001

SITE ASBUILT:

Final AsBuilt Drawing prepared by BLS&C, INC.

APPARENT PHYSICAL USE:

2-13 story condominium buildings, 4-single story garage buildings, Swimming pool, Utilities, Gazebo/Dune crossover, Landscaping and Stormwater Management, Additional Asphalt paved parking spaces and driveway aisles, Gated and paved (paver brick) entrance for pedestrian/vehicular ingress and egress, St. Lucie Co. Utilities Dept. provides sewer, potable water and reclaimed water to site. Common open space maintained by the Condominium Association. This site is Zoned HIRD

(CERTIFICATION)

I HEREBY CERTIFY: THAT THIS AS-BUILT SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.


SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE:

Richard A. Putz, PSM No.4505 State of Florida Professional Surveyor and Mapper

SEAL:

L.B. No. 6610

SIGNED



B.L.S.&C. INC.
LAND SURVEYORS AND CONSULTANTS
 397 ASBURY AVE. N.E.
 PALM BAY, FLORIDA 32907
 (321)693-4593 FAX (321)726-0602

LAND SURVEYING / LAND PLATTING

EXHIBIT A

SHEET 4 OF 47

OCEANIQUE OCEANFRONT

A CONDOMINIUM

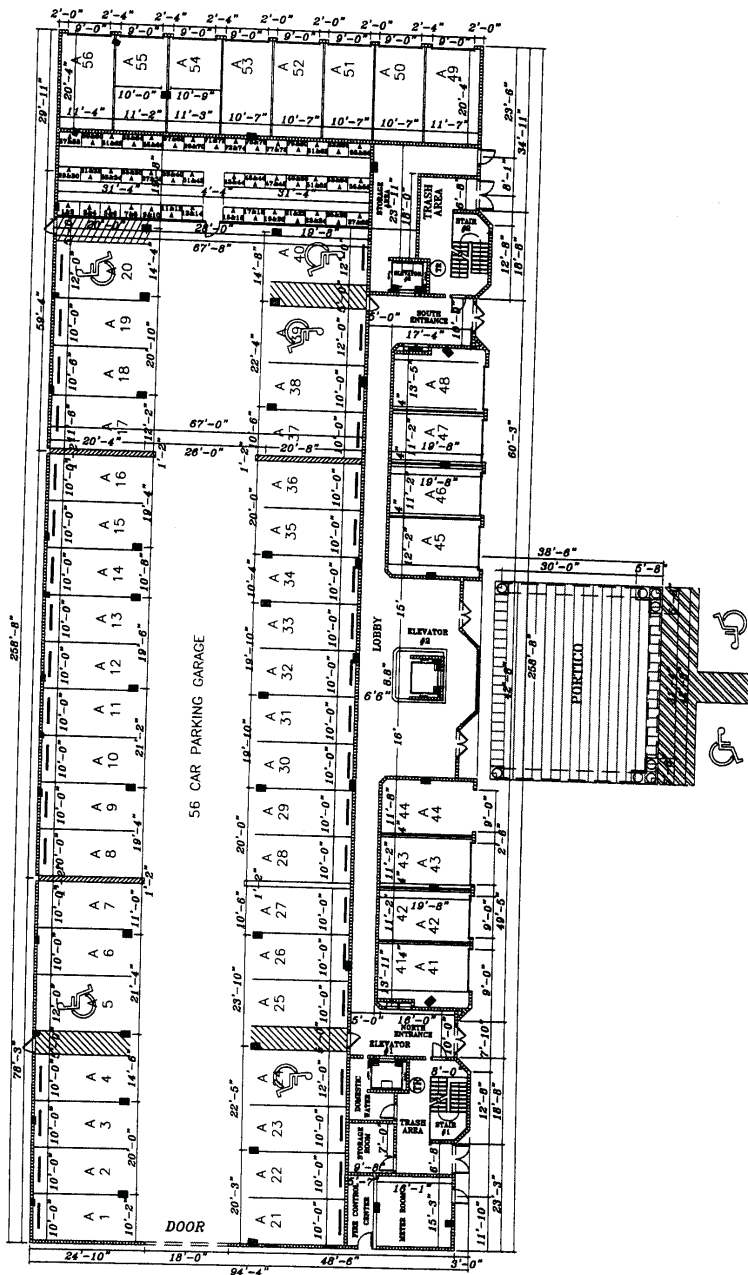
FIRST FLOOR PLAN



SCALE: 1"=30'

BUILDING "A"

FIRST FLOOR PLAN



ELEC. = ELECTRICAL
 TELE. = TELEPHONE
 T.V. = TELEVISION
 MECH. = MECHANICAL

BALC.=BALCONY
 LCE=LIMITED COMMON
 CE=COMMON ELEMENT
 ELEV.=ELEVATOR
 ST.= STAIR
 TR.= TRASH

SURVEYOR'S NOTES:

1. THE FIRST FLOOR UNFINISHED FLOOR ELEVATION IS 12.00 FEET.
2. THE FIRST FLOOR UNFINISHED CEILING ELEVATION IS 22.00 FEET.
3. THE ENCLOSED GARAGES SHOWN ARE LIMITED TO THE USE OF THE INDICATED UNITS, AS SET FORTH IN THE DECLARATION.
4. [00] INDICATES THE GARAGE NUMBER DESIGNATION.
5. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
6. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
7. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
8. ALL DIMENSIONS FOR ENCLOSED PARKING SPACE WIDTHS ARE TO THE INSIDE OF INTERIOR COLUMNS OR WALLS.
9. ——— INDICATES LIMITS OF THE UNIT.

JANUARY 21, 2009

B.L.S.&C. INC.



LAND SURVEYORS
 AND CONSULTANTS

397 ASBURY AVE. NE

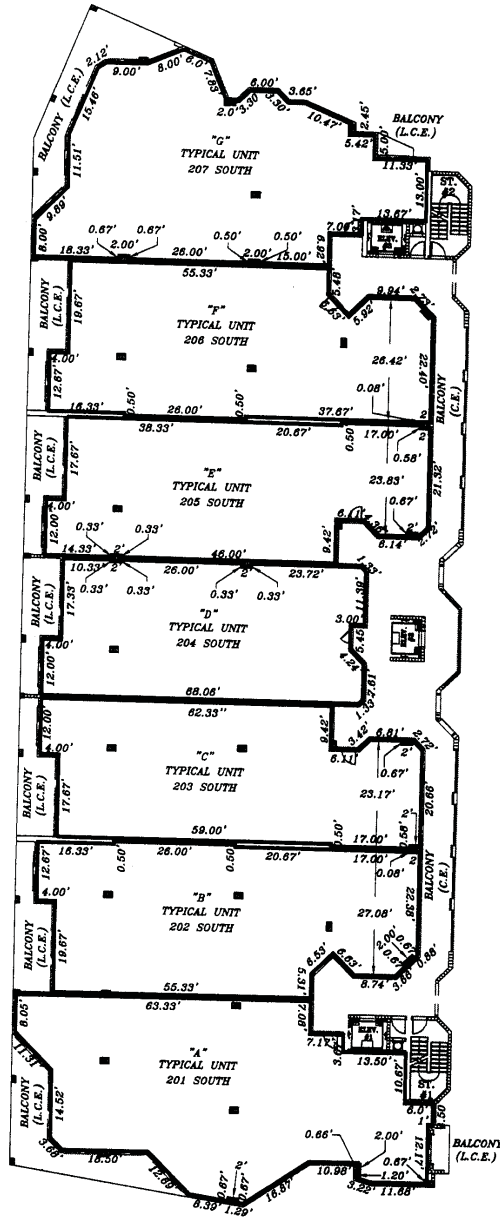
PALM BAY, FLORIDA 32907

(321)693-4593 FAX (321)726-0602

LAND SURVEYING / LAND FLATTING

OCEANIQUE OCEANFRONT A CONDOMINIUM SECOND FLOOR PLAN

SCALE: 1"=30'
BUILDING 'A'
SECOND FLOOR PLAN



ELEC. = ELECTRICAL
TELE. = TELEPHONE
T.V. = TELEVISION
MECH. = MECHANICAL

BALC. = BALCONY
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CE = COMMON ELEMENT
ELEV. = ELEVATOR
ST. = STAIR
TR. = TRASH

SURVEYOR'S
NOTES:

JANUARY 21, 2009

B.L.S.&C. INC.
LAND SURVEYORS
AND CONSULTANTS
597 ASBURY AVE. N.E.
PALM BAY, FLORIDA 32907
320683-4883 FAX 320726-0602

B **L** **S** **&** **C**
LAND SURVEYING / LAND PLATTING

1. THE SECOND FLOOR UNFINISHED FLOOR ELEVATION IS 22.58 FEET.
2. THE SECOND FLOOR UNFINISHED CEILING ELEVATION IS 31.58 FEET.
3. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
4. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
6. ——— INDICATES LIMITS OF THE UNIT.
7. SEE SHEETS 18 THROUGH 24 FOR TYPICAL UNIT PLANS.

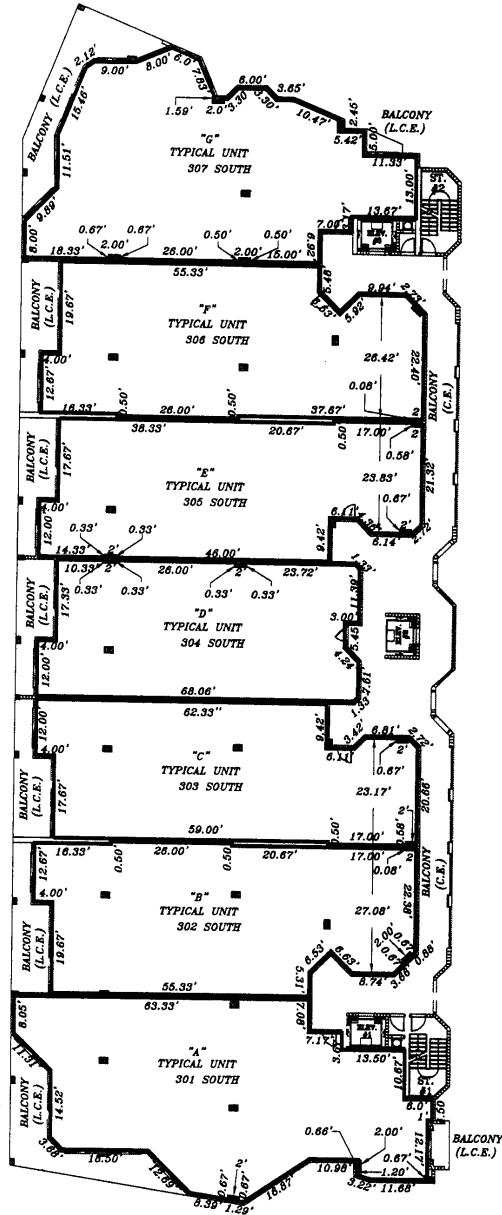
OCEANIQUE OCEANFRONT

A CONDOMINIUM

THIRD FLOOR PLAN



SCALE: 1"=30'
BUILDING "A"
THIRD FLOOR PLAN



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SURVEYOR'S NOTES:

JANUARY 21, 2009

B.L.S.&C. INC.

LAND SURVEYORS
AND CONSULTANTS

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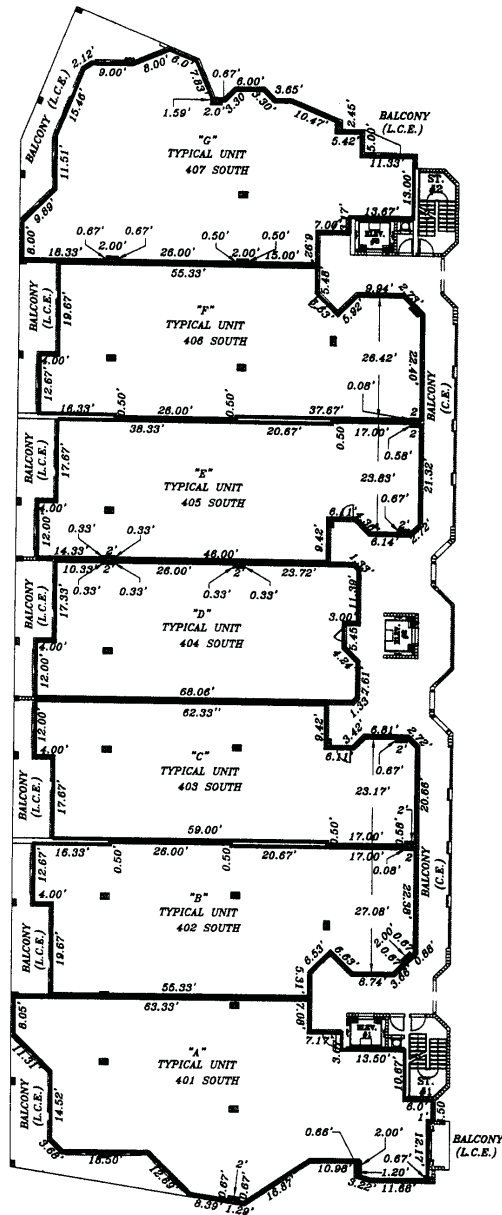
LAND SURVEYING / LAND PLATTING

1. THE THIRD FLOOR UNFINISHED FLOOR ELEVATION IS 32.17 FEET.
2. THE THIRD FLOOR UNFINISHED CEILING ELEVATION IS 41.17 FEET.
3. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
4. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
6. ——— INDICATES LIMITS OF THE UNIT.
7. SEE SHEETS 18 THROUGH 24 FOR TYPICAL UNIT PLANS.

OCEANIQUE OCEANFRONT A CONDOMINIUM FOURTH FLOOR PLAN



SCALE: 1"=30'
BUILDING 'A'
FOURTH FLOOR PLAN



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TR.= TRASH

**SURVEYOR'S
NOTES:**

JANUARY 21, 2009

1. THE FOURTH FLOOR UNFINISHED FLOOR ELEVATION IS 41.75 FEET.
2. THE FOURTH FLOOR UNFINISHED CEILING ELEVATION IS 50.75 FEET.
3. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
4. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
6. ——— INDICATES LIMITS OF THE UNIT.
7. SEE SHEETS 18 THROUGH 24 FOR TYPICAL UNIT PLANS.

B.L.S.&C. INC.

LAND SURVEYORS
AND CONSULTANTS

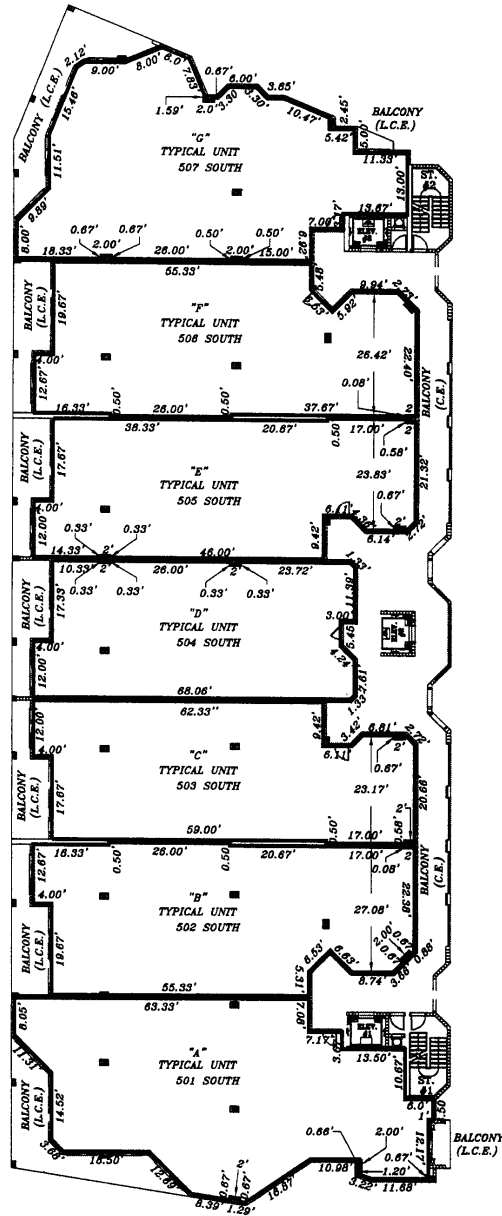
597 ASBURY AVE. N.E.
PALM BAY, FLORIDA 32907
321/693-4393 FAX 321/726-0602

LAND SURVEYING / LAND PLATTING

OCEANIQUE OCEANFRONT A CONDOMINIUM FIFTH FLOOR PLAN



SCALE: 1"=30'
BUILDING "A"
FIFTH FLOOR PLAN



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**SURVEYOR'S
NOTES:**

JANUARY 21, 2009

B.L.S.&C. INC.

**LAND SURVEYORS
AND CONSULTANTS**

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PALM BAY, FLORIDA 32907
(321)693-4593 FAX (321)726-0602



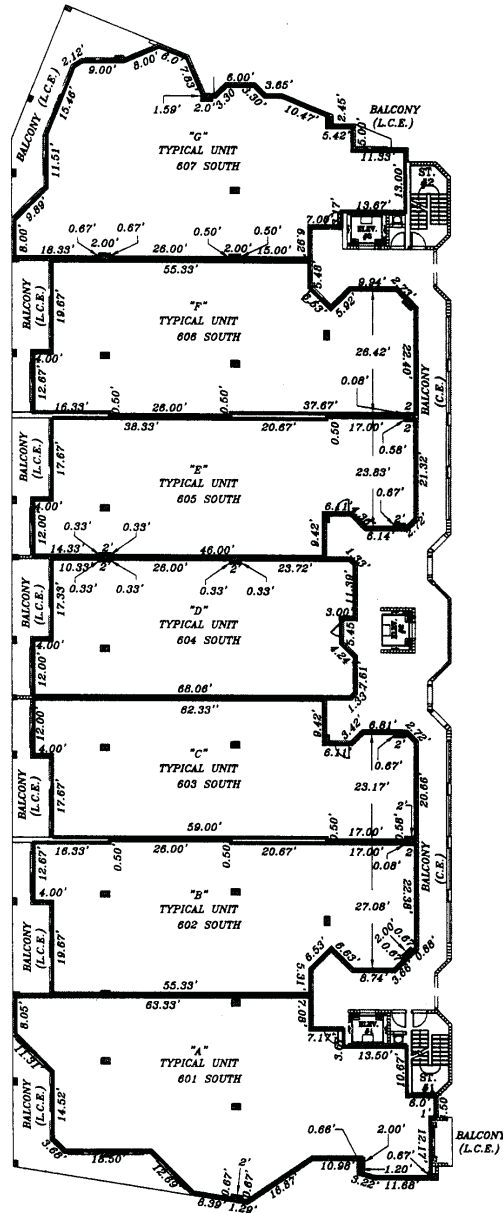
LAND SURVEYING / LAND PLATTING

1. THE FIFTH FLOOR UNFINISHED FLOOR ELEVATION IS 51.33 FEET.
2. THE FIFTH FLOOR UNFINISHED CEILING ELEVATION IS 60.33 FEET.
3. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
4. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
6. ——— INDICATES LIMITS OF THE UNIT.
7. SEE SHEETS 18 THROUGH 24 FOR TYPICAL UNIT PLANS.

OCEANIQUE OCEANFRONT A CONDOMINIUM SIXTH FLOOR PLAN



SCALE: 1"=30'
BUILDING "A"
SIXTH FLOOR PLAN



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ELEV.=ELEVATOR
ST.= STAIR
TR.= TRASH

**SURVEYOR'S
NOTES:**

JANUARY 21, 2009

1. THE SIXTH FLOOR UNFINISHED FLOOR ELEVATION IS 60.92 FEET.
2. THE SIXTH FLOOR UNFINISHED CEILING ELEVATION IS 69.92 FEET.
3. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
4. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
6. ——— INDICATES LIMITS OF THE UNIT.
7. SEE SHEETS 18 THROUGH 24 FOR TYPICAL UNIT PLANS.

B.L.S.&C. INC.

**LAND SURVEYORS
AND CONSULTANTS**

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PALM BAY, FLORIDA 32907
(321)693-4593 FAX (321)726-0602

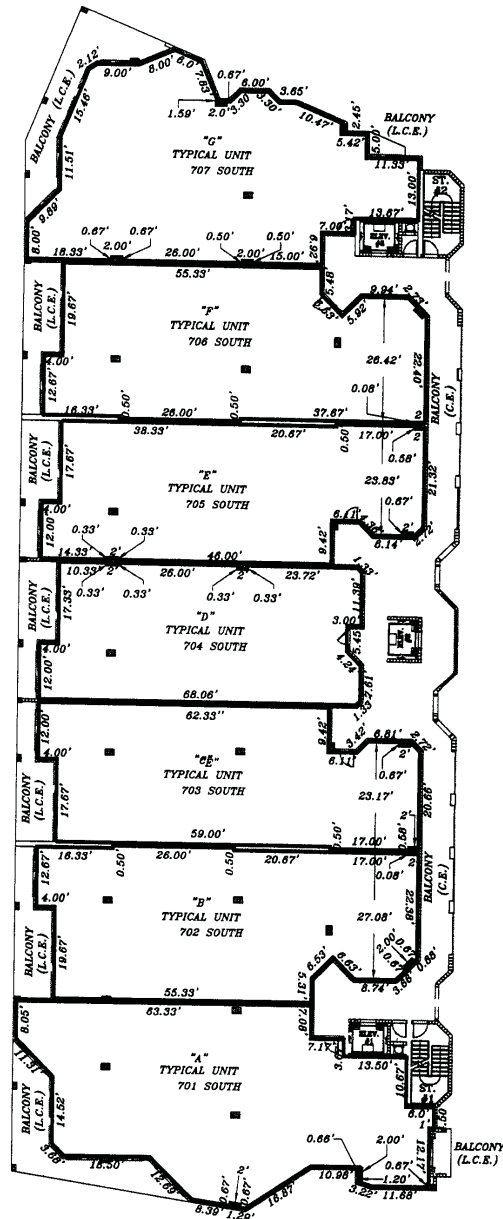
LAND SURVEYING / LAND PLATTING

OCEANIQUE OCEANFRONT

A CONDOMINIUM

SEVENTH FLOOR PLAN

SCALE: 1"=30'
BUILDING 'A'
SEVENTH FLOOR PLAN



ELEC. = ELECTRICAL
 TELE. = TELEPHONE
 T.V. = TELEVISION
 MECH. = MECHANICAL

BALC.=BALCONY
 LCE=LIMITED COMMON
 CE=COMMON ELEMENT
 ELEV.=ELEVATOR
 ST.= STAIR
 TR.= TRASH

**SURVEYOR'S
 NOTES:**

1. THE SEVENTH FLOOR UNFINISHED FLOOR ELEVATION IS 70.50 FEET.
2. THE SEVENTH FLOOR UNFINISHED CEILING ELEVATION IS 79.50 FEET.
3. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
4. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
6. ——— INDICATES LIMITS OF THE UNIT.
7. SEE SHEETS 18 THROUGH 24 FOR TYPICAL UNIT PLANS.

JANUARY 21, 2009

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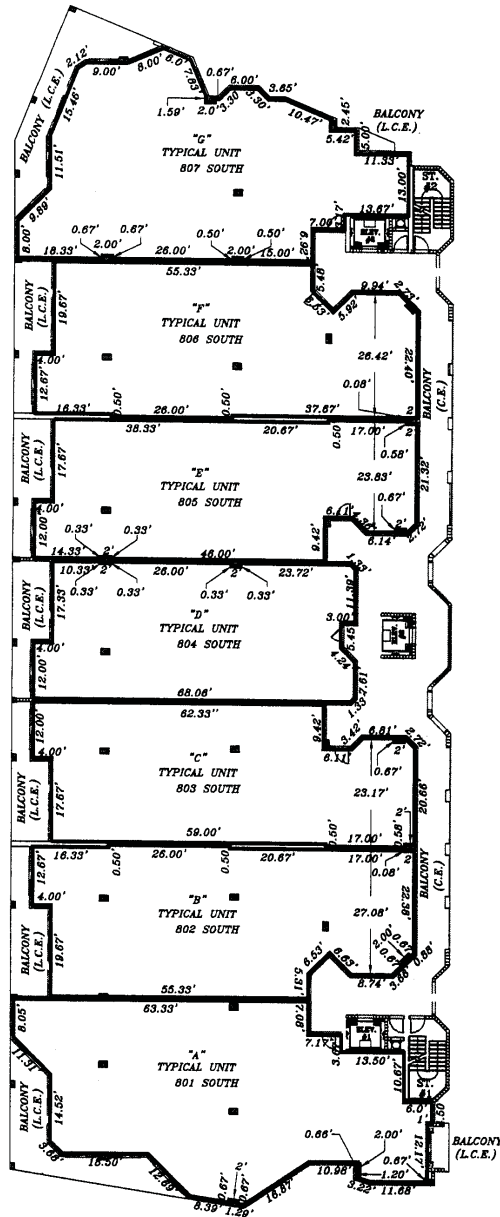
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 PALM BAY, FLORIDA 32907
 (321)693-4593 FAX (321)726-0602

LAND SURVEYING / LAND PLATTING

OCEANIQUE OCEANFRONT A CONDOMINIUM EIGHTH FLOOR PLAN

SCALE: 1"=30'
BUILDING "A"
EIGHTH FLOOR PLAN



ELEC. = ELECTRICAL
TELE. = TELEPHONE
T.V. = TELEVISION
MECH. = MECHANICAL

BALC.=BALCONY
LCE=LIMITED COMMON
CE=COMMON ELEMENT
ELEV.=ELEVATOR
ST.= STAIR
TR.= TRASH

**SURVEYOR'S
NOTES:**

JANUARY 21, 2009

1. THE EIGHTH FLOOR UNFINISHED FLOOR ELEVATION IS 80.08 FEET.
2. THE EIGHTH FLOOR UNFINISHED CEILING ELEVATION IS 89.08 FEET.
3. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
4. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
6. ——— INDICATES LIMITS OF THE UNIT.
7. SEE SHEETS 18 THROUGH 24 FOR TYPICAL UNIT PLANS.

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AND CONSULTANTS

LAND SURVEYORS

597 ASBURY AVE. N.E.
PALM BAY, FLORIDA 32907
(321)693-4893 FAX (321)726-0602

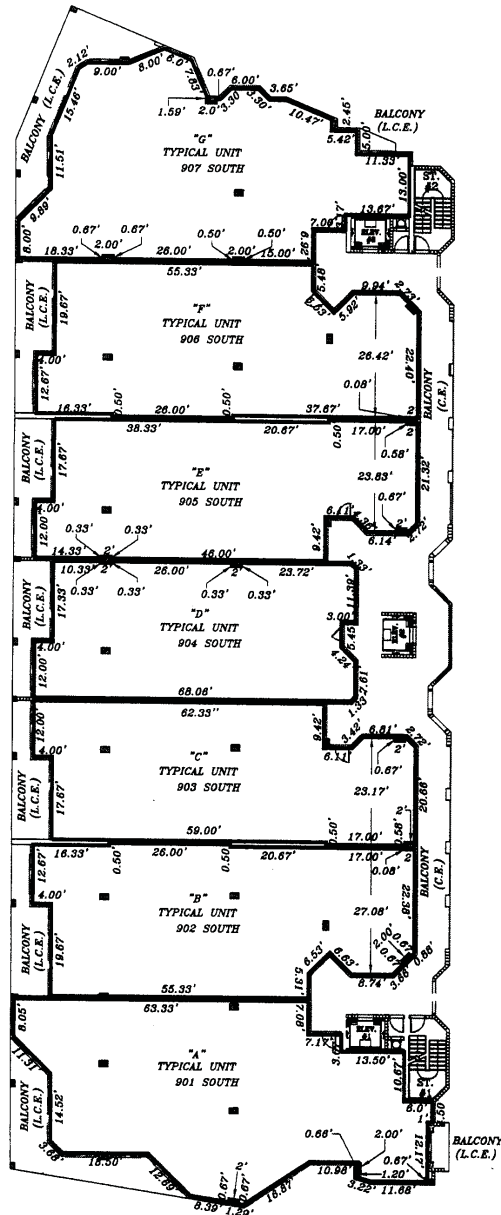
LAND SURVEYING / LAND PLATTING

OCEANIQUE OCEANFRONT

A CONDOMINIUM

NINTH FLOOR PLAN

SCALE: 1"=30'
BUILDING 'A'
NINTH FLOOR PLAN



ELEC. = ELECTRICAL
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 T.V. = TELEVISION
 MECH. = MECHANICAL

BALC.=BALCONY
 LCE=LIMITED COMMON
 CE=COMMON ELEMENT
 ELEV.=ELEVATOR
 ST.= STAIR
 TR.= TRASH

SURVEYOR'S NOTES:

1. THE NINTH FLOOR UNFINISHED FLOOR ELEVATION IS 89.67 FEET.
2. THE NINTH FLOOR UNFINISHED CEILING ELEVATION IS 98.67 FEET.
3. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
4. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
6. ——— INDICATES LIMITS OF THE UNIT.
7. SEE SHEETS 18 THROUGH 24 FOR TYPICAL UNIT PLANS.

JANUARY 21, 2009

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LAND SURVEYORS AND CONSULTANTS

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 PALM BAY, FLORIDA 32907
 (321)693-4993 FAX (321)726-0602

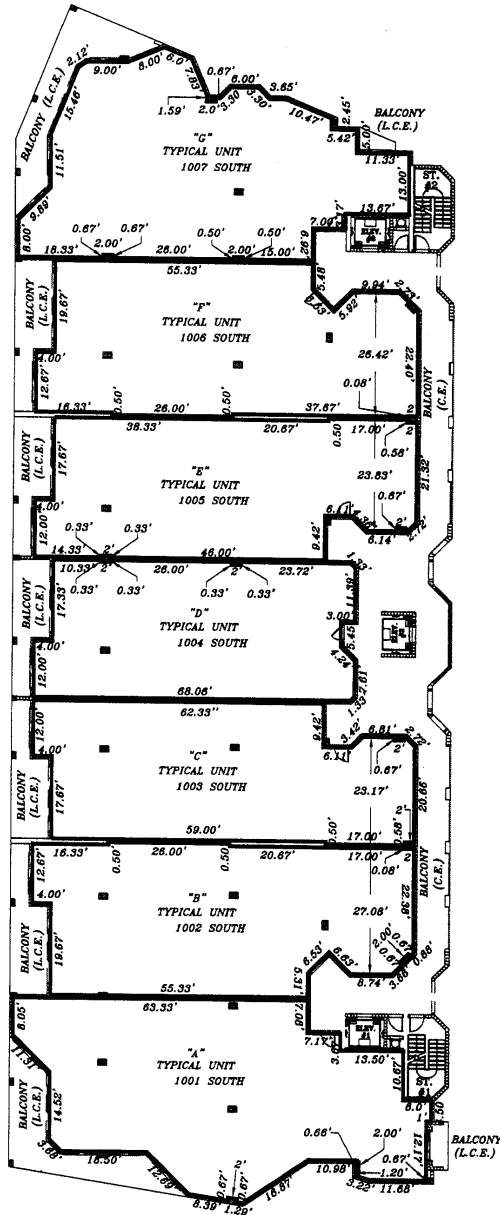
LAND SURVEYING / LAND PLATTING



OCEANIQUE OCEANFRONT A CONDOMINIUM TENTH FLOOR PLAN



SCALE: 1"=30'
BUILDING "A"
TENTH FLOOR PLAN



ELEC. = ELECTRICAL
TELE. = TELEPHONE
T.V. = TELEVISION
MECH. = MECHANICAL

BALC.=BALCONY
LCE=LIMITED COMMON
CE=COMMON ELEMENT
ELEV.=ELEVATOR

ST.= STAIR
TR.= TRASH

**SURVEYOR'S
NOTES:**

1. THE TENTH FLOOR UNFINISHED FLOOR ELEVATION IS 99.25 FEET.
2. THE TENTH FLOOR UNFINISHED CEILING ELEVATION IS 108.25 FEET.
3. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
4. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
6. ——— INDICATES LIMITS OF THE UNIT.
7. SEE SHEETS 18 THROUGH 24 FOR TYPICAL UNIT PLANS.

JANUARY 21, 2009

B.L.S.&C. INC.

**LAND SURVEYORS
AND CONSULTANTS**

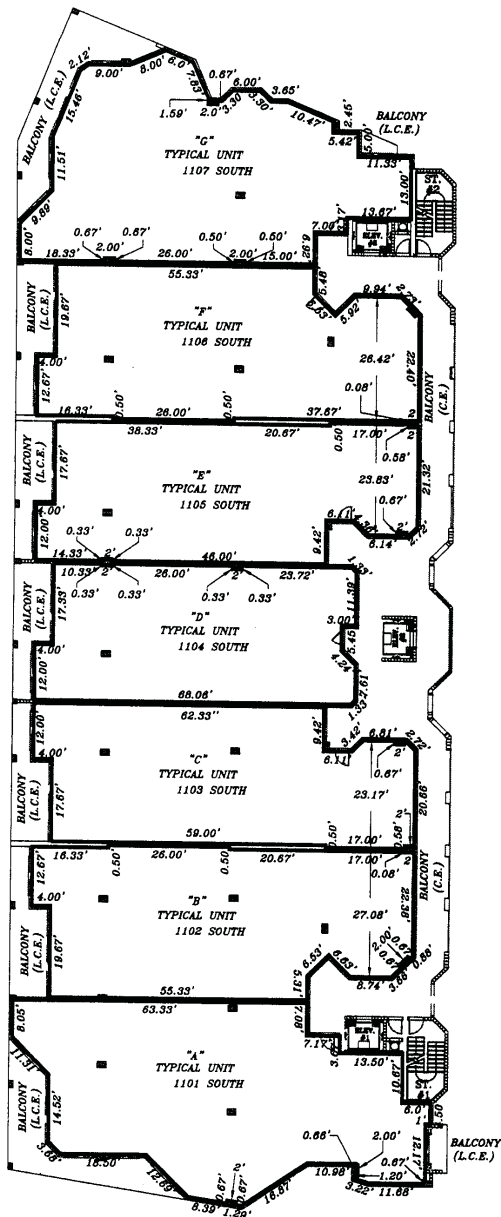
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LAND SURVEYING / LAND PLATTING

OCEANIQUE OCEANFRONT A CONDOMINIUM ELEVENTH FLOOR PLAN



SCALE: 1"=30'
BUILDING "A"
ELEVENTH FLOOR PLAN



ELEC. = ELECTRICAL
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MECH. = MECHANICAL

BALC.=BALCONY
LCE=LIMITED COMMON
CE=COMMON ELEMENT
ELEV.=ELEVATOR

ST.= STAIR
TR.= TRASH

**SURVEYOR'S
NOTES:**

1. THE ELEVENTH FLOOR UNFINISHED FLOOR ELEVATION IS 108.83 FEET.
2. THE ELEVENTH FLOOR UNFINISHED CEILING ELEVATION IS 117.83 FEET
3. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
4. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
6. ——— INDICATES LIMITS OF THE UNIT.
7. SEE SHEETS 18 THROUGH 24 FOR TYPICAL UNIT PLANS.

JANUARY 21, 2009


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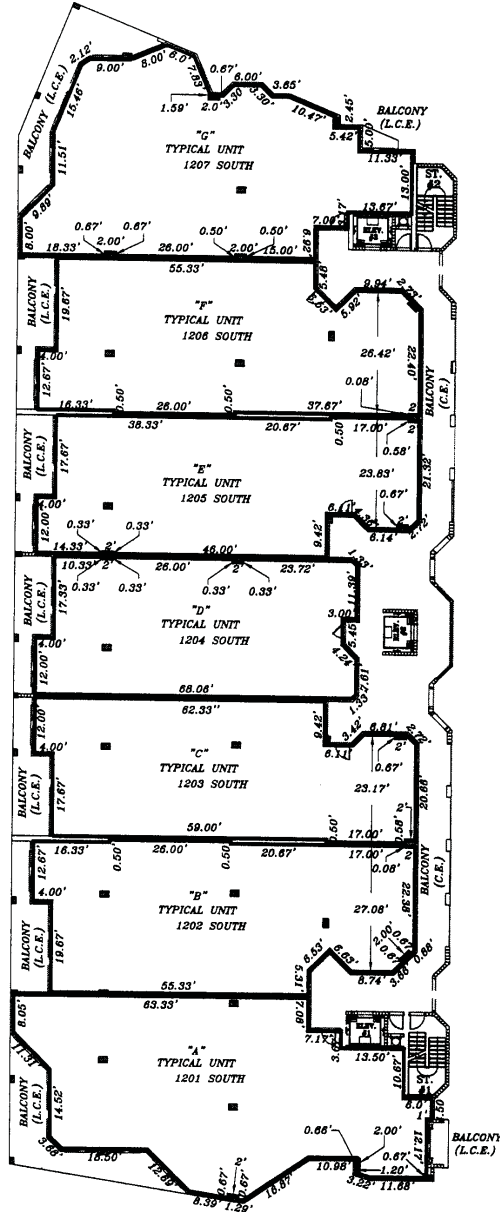
B LAND SURVEYORS AND CONSULTANTS **C**

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PALM BAY, FLORIDA 32907
(321)493-4593 FAX (321)726-0602

LAND SURVEYING / LAND PLATTING

OCEANIQUE OCEANFRONT A CONDOMINIUM TWELFTH FLOOR PLAN


 SCALE: 1"=30'
BUILDING "A"
TWELFTH FLOOR PLAN



ELEC. = ELECTRICAL
 TELE. = TELEPHONE
 T.V. = TELEVISION
 MECH. = MECHANICAL

BALC. = BALCONY
 LCE = LIMITED COMMON
 CE = COMMON ELEMENT
 ELEV. = ELEVATOR
 ST. = STAIR
 TR. = TRASH

**SURVEYOR'S
NOTES:**

1. THE TWELFTH FLOOR UNFINISHED FLOOR ELEVATION IS 118.42 FEET.
2. THE TWELFTH FLOOR UNFINISHED CEILING ELEVATION IS 127.42 FEET.
3. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
4. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
6. ——— INDICATES LIMITS OF THE UNIT.
7. SEE SHEETS 18 THROUGH 24 FOR TYPICAL UNIT PLANS.

JANUARY 21, 2009

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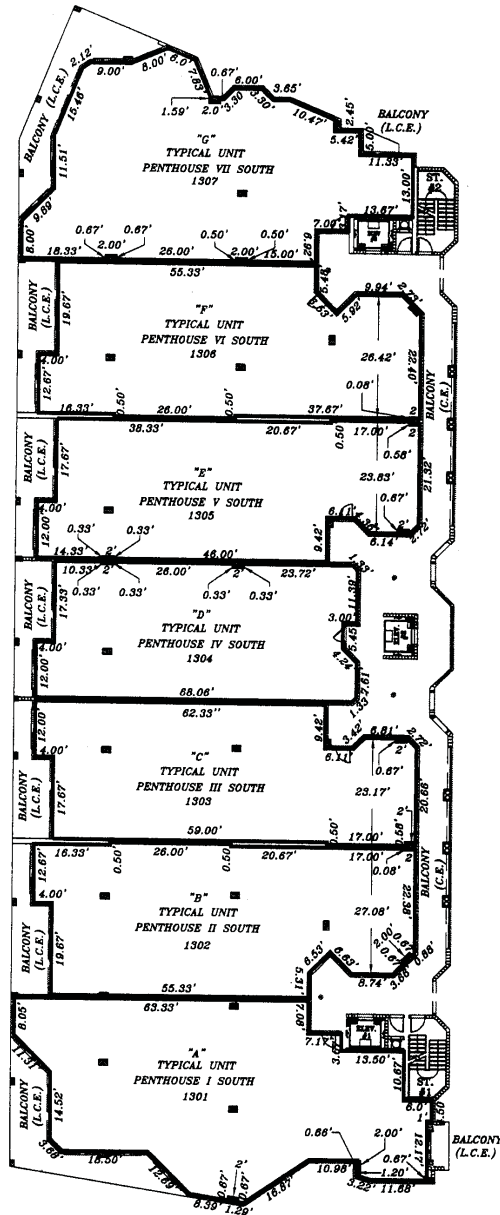

**LAND SURVEYORS
AND CONSULTANTS**
 597 ASBURY AVE. N.E.
 PALM BAY, FLORIDA 32907
 (321)693-4393 FAX (321)726-0602

LAND SURVEYING / LAND PLATTING

OCEANIQUE OCEANFRONT A CONDOMINIUM THIRTEENTH FLOOR PLAN



SCALE: 1"=30'
BUILDING "A"
THIRTEENTH FLOOR PLAN
PENTHOUSE



ELEC. = ELECTRICAL
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 MECH. = MECHANICAL

BALC.=BALCONY
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 ELEV.=ELEVATOR
 ST.= STAIR
 TR.= TRASH

**SURVEYOR'S
 NOTES:**

1. THE THIRTEENTH FLOOR UNFINISHED FLOOR ELEVATION IS 128.00 FEET.
2. THE THIRTEENTH FLOOR UNFINISHED CEILING ELEVATION IS 138.00 FEET.
3. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
4. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
6. ——— INDICATES LIMITS OF THE UNIT.
7. SEE SHEETS 18 THROUGH 24 FOR TYPICAL UNIT PLANS.

JANUARY 21, 2009

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**LAND SURVEYORS
 AND CONSULTANTS**

397 ASBURY AVE. N.E.
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OCEANIQUE OCEANFRONT

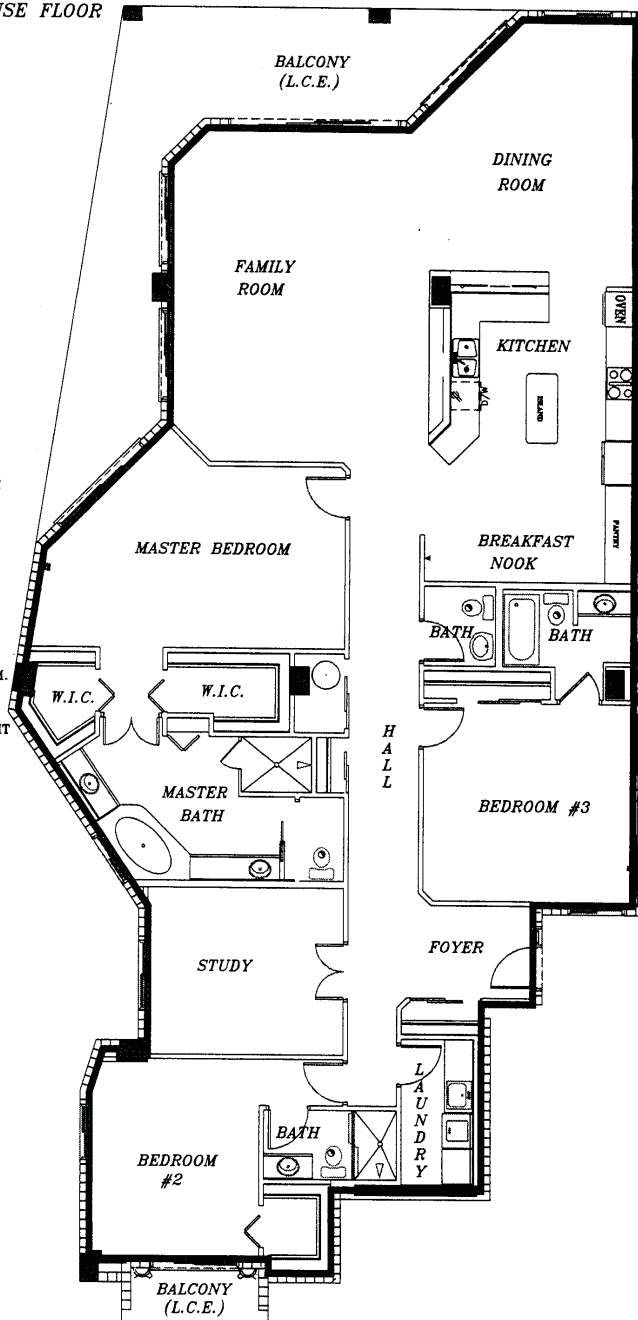
A CONDOMINIUM

TYPICAL UNIT "A" 201 SOUTH through PENTHOUSE 1 SOUTH (1301)
BUILDING "A"

FLOORS 2 THROUGH PENTHOUSE FLOOR



SCALE: 1"=10'



SURVEYOR'S NOTES:

1. _____ INDICATES THE LIMITS OF THE UNIT
2. ALL AREAS AND IMPROVEMENTS EXCLUSIVE OF THE UNIT ARE COMMON ELEMENTS OF THE CONDOMINIUM.
3. THE BALCONIES ARE LIMITED COMMON ELEMENTS OF THE CONDOMINIUM, LIMITED TO THE USE OF THE ADJACENT UNIT.
4. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. REFER TO THE FLOOR PLANS ON SHEETS 6 THROUGH 17 FOR THE LOCATION OF THIS UNIT WITHIN THE BUILDING.

LCE=LIMITED COMMON ELEMENT

CE=COMMON ELEMENT

ELEV.=ELEVATOR

JANUARY 21, 2009

B.L.S.&C. INC.



LAND SURVEYORS
AND CONSULTANTS
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PALM BAY, FLORIDA 32907
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LAND SURVEYING / LAND PLATTING

OCEANIQUE OCEANFRONT

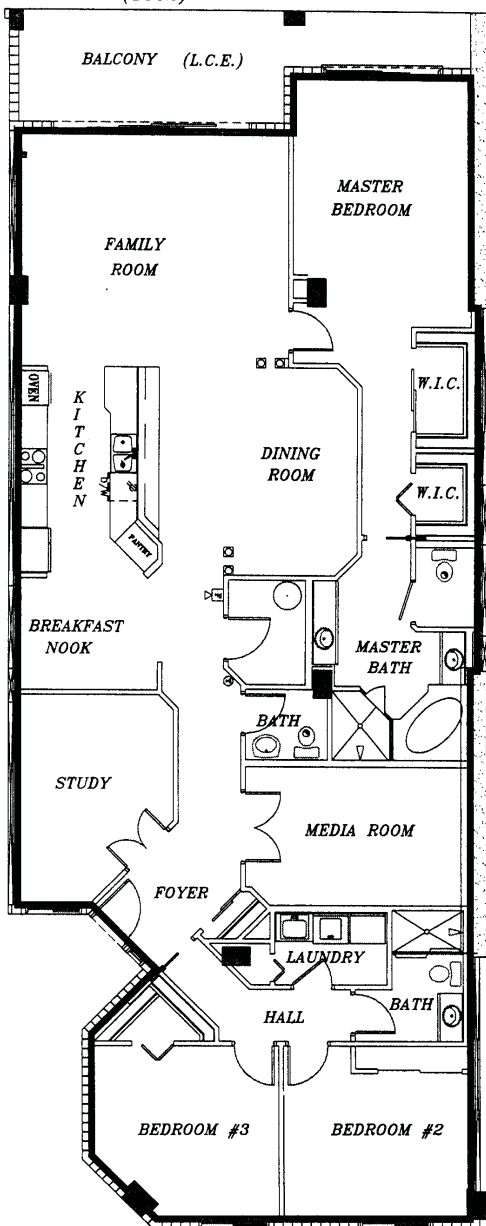
A CONDOMINIUM



SCALE: 1"=10'

TYPICAL UNIT "B" 202 SOUTH through PENTHOUSE II (1302)

BUILDING "A"
FLOORS 2 THROUGH PENTHOUSE



SURVEYOR'S NOTES:

1. _____ INDICATES THE LIMITS OF THE UNIT
2. ALL AREAS AND IMPROVEMENTS EXCLUSIVE OF THE UNIT ARE COMMON ELEMENTS OF THE CONDOMINIUM.
3. THE BALCONIES ARE LIMITED COMMON ELEMENTS OF THE CONDOMINIUM, LIMITED TO THE USE OF THE ADJACENT UNIT.
4. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. REFER TO THE FLOOR PLANS ON SHEETS 6 THROUGH 17 FOR THE LOCATION OF THIS UNIT WITHIN THE BUILDING.

LCE=LIMITED COMMON ELEMENT

CE=COMMON ELEMENT

ELEV.=ELEVATOR

JANUARY 21, 2009

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LAND SURVEYORS
AND CONSULTANTS

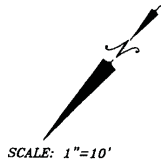
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LAND SURVEYING / LAND PLATTING

OCEANIQUE OCEANFRONT

A CONDOMINIUM

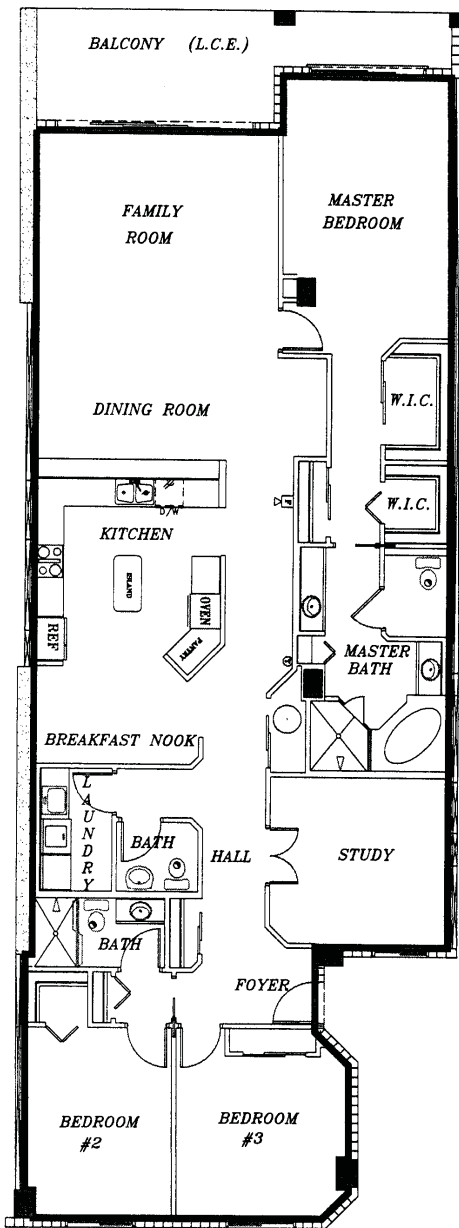
TYPICAL UNIT "C" 203 SOUTH through PENTHOUSE III (1303)
 BUILDING "A"
 FLOORS 2 THROUGH PENTHOUSE



SURVEYOR'S NOTES:

1. _____ INDICATES THE LIMITS OF THE UNIT
2. ALL AREAS AND IMPROVEMENTS EXCLUSIVE OF THE UNIT ARE COMMON ELEMENTS OF THE CONDOMINIUM.
3. THE BALCONIES ARE LIMITED COMMON ELEMENTS OF THE CONDOMINIUM, LIMITED TO THE USE OF THE ADJACENT UNIT.
4. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. REFER TO THE FLOOR PLANS ON SHEETS 6 THROUGH 17 FOR THE LOCATION OF THIS UNIT WITHIN THE BUILDING.

LCE=LIMITED COMMON ELEMENT
 CE=COMMON ELEMENT
 ELEV.=ELEVATOR



JANUARY 21, 2009

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LAND SURVEYING / LAND PLATTING

OCEANIQUE OCEANFRONT

A CONDOMINIUM



SCALE: 1"=10'

TYPICAL UNIT "D" 204 SOUTH through PENTHOUSE IV (1304)
 BUILDING "A"
 FLOORS 2 THROUGH PENTHOUSE

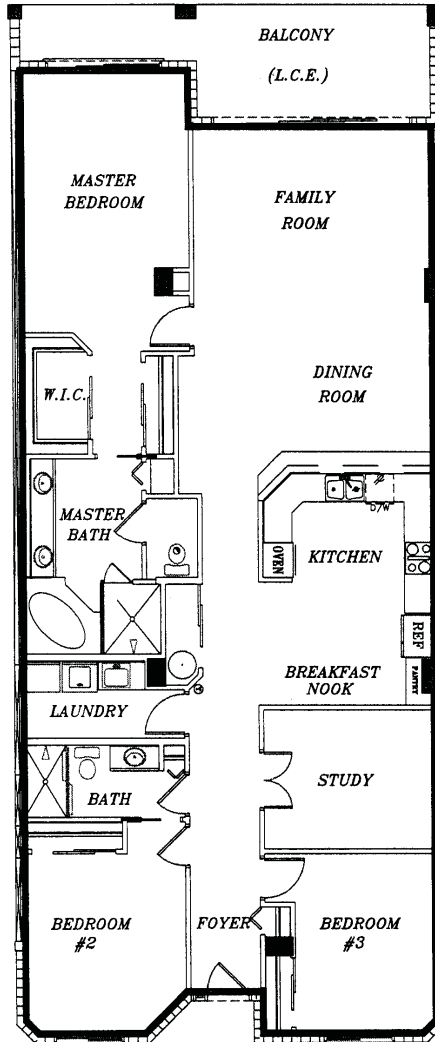
SURVEYOR'S NOTES:

1. ——— INDICATES THE LIMITS OF THE UNIT
2. ALL AREAS AND IMPROVEMENTS EXCLUSIVE OF THE UNIT ARE COMMON ELEMENTS OF THE CONDOMINIUM.
3. THE BALCONIES ARE LIMITED COMMON ELEMENTS OF THE CONDOMINIUM, LIMITED TO THE USE OF THE ADJACENT UNIT.
4. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. REFER TO THE FLOOR PLANS ON SHEETS 6 THROUGH 17 FOR THE LOCATION OF THIS UNIT WITHIN THE BUILDING.

LCE=LIMITED COMMON ELEMENT

CE=COMMON ELEMENT

ELEV.=ELEVATOR



JANUARY 21, 2009

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 PALM BAY, FLORIDA 32907
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OCEANIQUE OCEANFRONT

A CONDOMINIUM

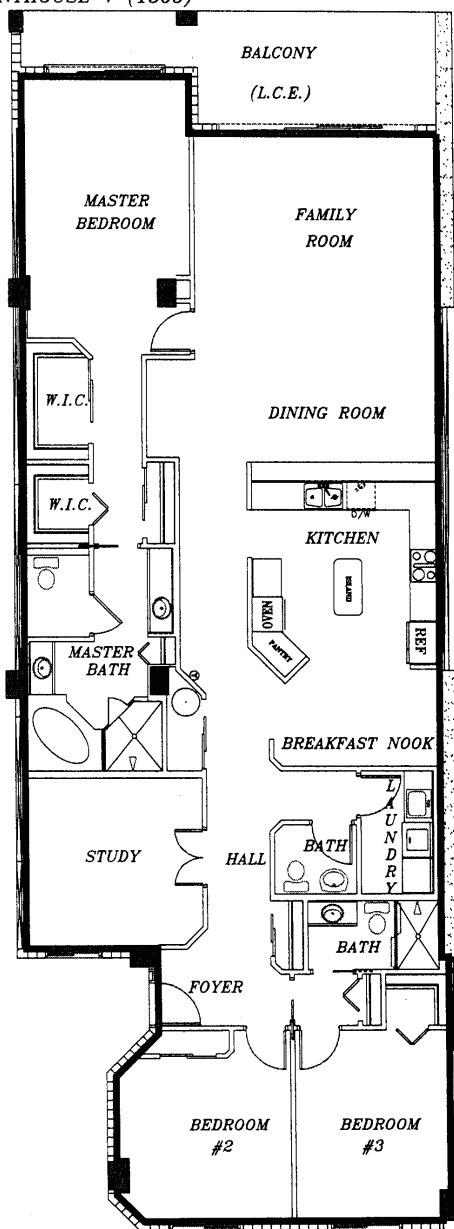


SCALE: 1"=10'

TYPICAL UNIT "E" 205 SOUTH through PENTHOUSE V (1305)

BUILDING "A"

FLOORS 2 THROUGH PENTHOUSE



SURVEYOR'S NOTES:

1. INDICATES THE LIMITS OF THE UNIT
2. ALL AREAS AND IMPROVEMENTS EXCLUSIVE OF THE UNIT ARE COMMON ELEMENTS OF THE CONDOMINIUM.
3. THE BALCONIES ARE LIMITED COMMON ELEMENTS OF THE CONDOMINIUM, LIMITED TO THE USE OF THE ADJACENT UNIT.
4. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. REFER TO THE FLOOR PLANS ON SHEETS 6 THROUGH 17 FOR THE LOCATION OF THIS UNIT WITHIN THE BUILDING.

LCE=LIMITED COMMON ELEMENT

CE=COMMON ELEMENT

ELEV.=ELEVATOR

JANUARY 21, 2009

B.L.S.&C. INC.



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AND CONSULTANTS
597 ASBURY AVE. N.E.
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LAND SURVEYING / LAND PLATTING

OCEANIQUE OCEANFRONT

A CONDOMINIUM

TYPICAL UNIT "F" 206 SOUTH through PENTHOUSE VI (1306)
 BUILDING "A"
 FLOORS 2 THROUGH PENTHOUSE



SCALE: 1"=10'

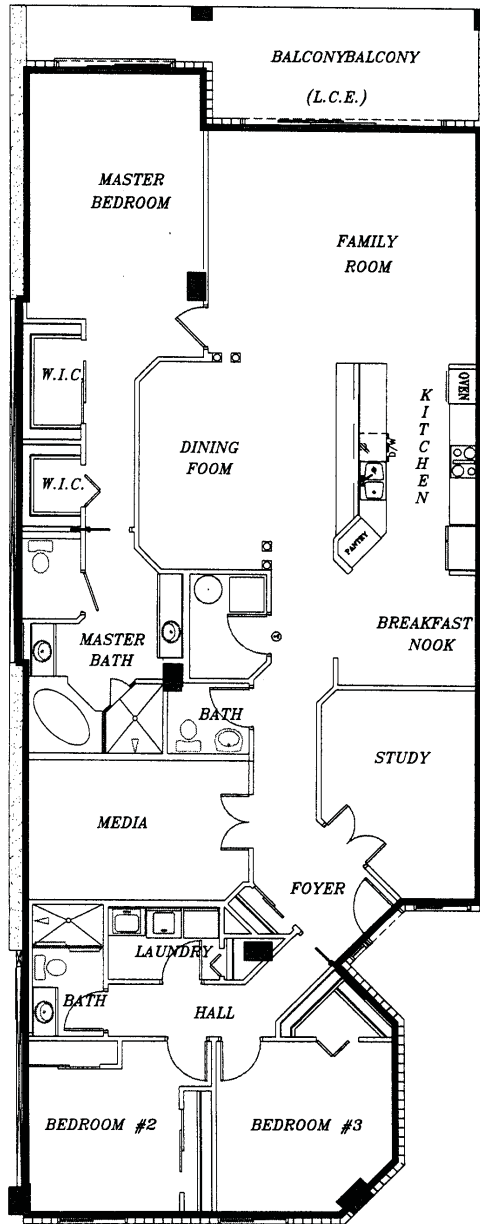
SURVEYOR'S NOTES:

1. ——— INDICATES THE LIMITS OF THE UNIT
2. ALL AREAS AND IMPROVEMENTS EXCLUSIVE OF THE UNIT ARE COMMON ELEMENTS OF THE CONDOMINIUM.
3. THE BALCONIES ARE LIMITED COMMON ELEMENTS OF THE CONDOMINIUM, LIMITED TO THE USE OF THE ADJACENT UNIT.
4. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. REFER TO THE FLOOR PLANS ON SHEETS 6 THROUGH 17 FOR THE LOCATION OF THIS UNIT WITHIN THE BUILDING.

LCE=LIMITED COMMON ELEMENT

CE=COMMON ELEMENT

ELEV.=ELEVATOR



JANUARY 21, 2009

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LAND SURVEYING / LAND FLATTING

OCEANIQUE OCEANFRONT

A CONDOMINIUM



SCALE: 1"=10'

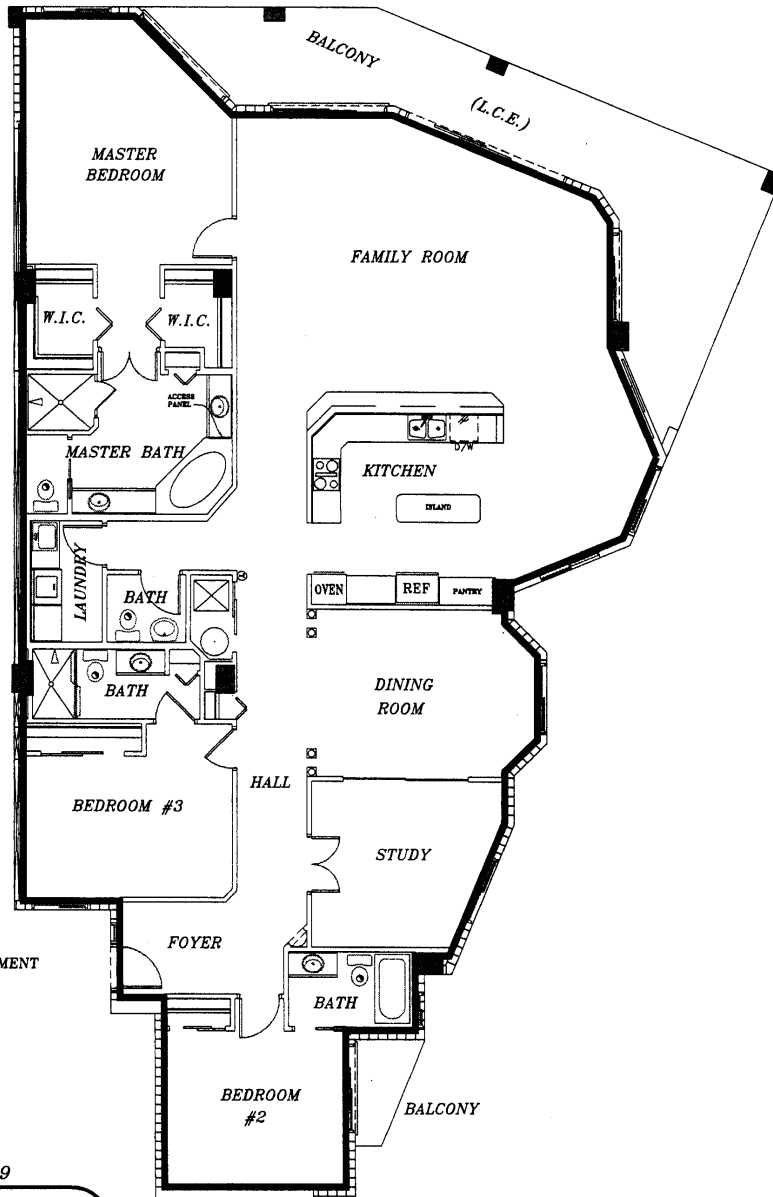
TYPICAL UNIT "G" 207 SOUTH through PENTHOUSE VII (1307)

BUILDING "A"

FLOORS 2 THROUGH PENTHOUSE

SURVEYOR'S NOTES:

1. ——— INDICATES THE LIMITS OF THE UNIT
2. ALL AREAS AND IMPROVEMENTS EXCLUSIVE OF THE UNIT ARE COMMON ELEMENTS OF THE CONDOMINIUM.
3. THE BALCONIES ARE LIMITED COMMON ELEMENTS OF THE CONDOMINIUM, LIMITED TO THE USE OF THE ADJACENT UNIT.
4. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. REFER TO THE FLOOR PLANS ON SHEETS 6 THROUGH 17 FOR THE LOCATION OF THIS UNIT WITHIN THE BUILDING.



LCE=LIMITED COMMON ELEMENT

CE=COMMON ELEMENT

ELEV.=ELEVATOR

JANUARY 21, 2009

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PALM BAY, FLORIDA 32907
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LAND SURVEYING / LAND PLATTING

EXHIBIT "A"

SHEET 24 OF 47

OCEANIQUE OCEANFRONT

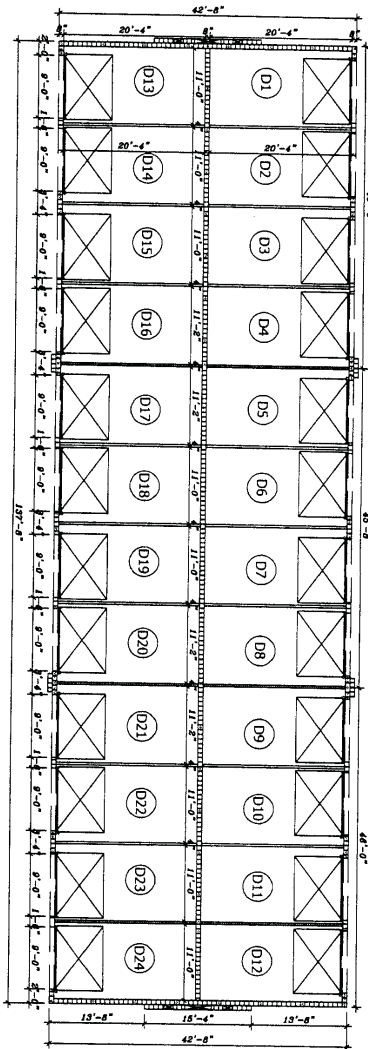
A CONDOMINIUM

GARAGE FLOOR PLAN



SCALE: 1"=20'

GARAGE BUILDING 'D' FLOOR PLAN



ELEC. = ELECTRICAL
 TELE. = TELEPHONE
 T.V. = TELEVISION
 MECH. = MECHANICAL

BALC.=BALCONY
 LCE=LIMITED COMMON
 CE=COMMON ELEMENT
 ELEV.=ELEVATOR
 ST.= STAIR
 TR.= TRASH

**SURVEYOR'S
NOTES:**

1. THE FIRST FLOOR UNFINISHED FLOOR ELEVATION IS 10.00, 10.67 AND 11.33 FEET.
2. THE FIRST FLOOR UNFINISHED CEILING ELEVATION IS 19.33, FEET.
3. THE ENCLOSED GARAGES SHOWN ARE LIMITED TO THE USE OF THE INDICATED UNITS, AS SET FORTH IN THE DECLARATION.
4. @@ INDICATES THE GARAGE NUMBER DESIGNATION.
5. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
6. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
7. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
8. ALL DIMENSIONS FOR ENCLOSED PARKING SPACE WIDTHS ARE TO THE INSIDE OF INTERIOR COLUMNS OR WALLS.
9. ——— INDICATES LIMITS OF THE UNIT.

JANUARY 21, 2009

B.L.S.&C. INC.



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PALM BAY, FLORIDA 32907

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LAND SURVEYING / LAND PLATTING

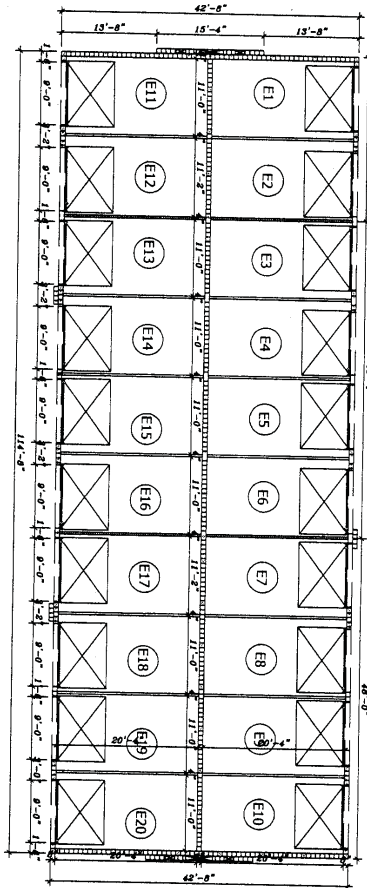
OCEANIQUE OCEANFRONT

A CONDOMINIUM

GARAGE FLOOR PLAN



SCALE: 1"=20'
GARAGE BUILDING 'E'
FLOOR PLAN



ELEC. = ELECTRICAL
 TEL. = TELEPHONE
 T.V. = TELEVISION
 MECH. = MECHANICAL

BALC.=BALCONY
 LCE=LIMITED COMMON
 CE=COMMON ELEMENT
 ELEV.=ELEVATOR
 ST.= STAIR
 TR.= TRASH

SURVEYOR'S
NOTES:

1. THE FIRST FLOOR UNFINISHED FLOOR ELEVATION IS 10.00, 10.87 AND 11.33 FEET.
2. THE FIRST FLOOR UNFINISHED CEILING ELEVATION IS 19.33, FEET.
3. THE ENCLOSED GARAGES SHOWN ARE LIMITED TO THE USE OF THE INDICATED UNITS, AS SET FORTH IN THE DECLARATION.
4. © INDICATES THE GARAGE NUMBER DESIGNATION.
5. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
6. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
7. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
8. ALL DIMENSIONS FOR ENCLOSED PARKING SPACE WIDTHS ARE TO THE INSIDE OF INTERIOR COLUMNS OR WALLS.
9. ——— INDICATES LIMITS OF THE UNIT.

JANUARY 21, 2009

B.L.S.&C. INC.



LAND SURVEYORS
 AND CONSULTANTS

397 ASBURY AVE. N.E.

PALM BAY, FLORIDA 32907

(321)493-4593 FAX (321)726-0602

LAND SURVEYING / LAND PLATTING

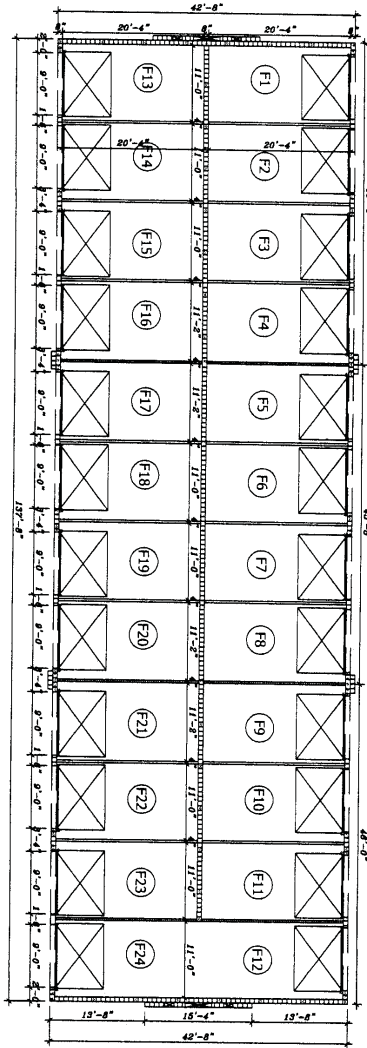
OCEANIQUE OCEANFRONT

A CONDOMINIUM

GARAGE FLOOR PLAN



SCALE: 1"=20'
GARAGE BUILDING 'F'
FLOOR PLAN



ELEC. = ELECTRICAL
 TELE. = TELEPHONE
 T.V. = TELEVISION
 MECH. = MECHANICAL

BALC. = BALCONY
 LCE = LIMITED COMMON
 CE = COMMON ELEMENT
 ELEV. = ELEVATOR
 ST. = STAIR
 TR. = TRASH

SURVEYOR'S NOTES:

1. THE FIRST FLOOR UNFINISHED FLOOR ELEVATION IS 10.00, 10.67 AND 11.33 FEET.
2. THE FIRST FLOOR UNFINISHED CEILING ELEVATION IS 19.33, FEET.
3. THE ENCLOSED GARAGES SHOWN ARE LIMITED TO THE USE OF THE INDICATED UNITS, AS SET FORTH IN THE DECLARATION.
4. @ INDICATES THE GARAGE NUMBER DESIGNATION.
5. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
6. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
7. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
8. ALL DIMENSIONS FOR ENCLOSED PARKING SPACE WIDTHS ARE TO THE INSIDE OF INTERIOR COLUMNS OR WALLS.
9. ——— INDICATES LIMITS OF THE UNIT.

JANUARY 21, 2009

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 AND CONSULTANTS

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OCEANIQUE OCEANFRONT

A CONDOMINIUM

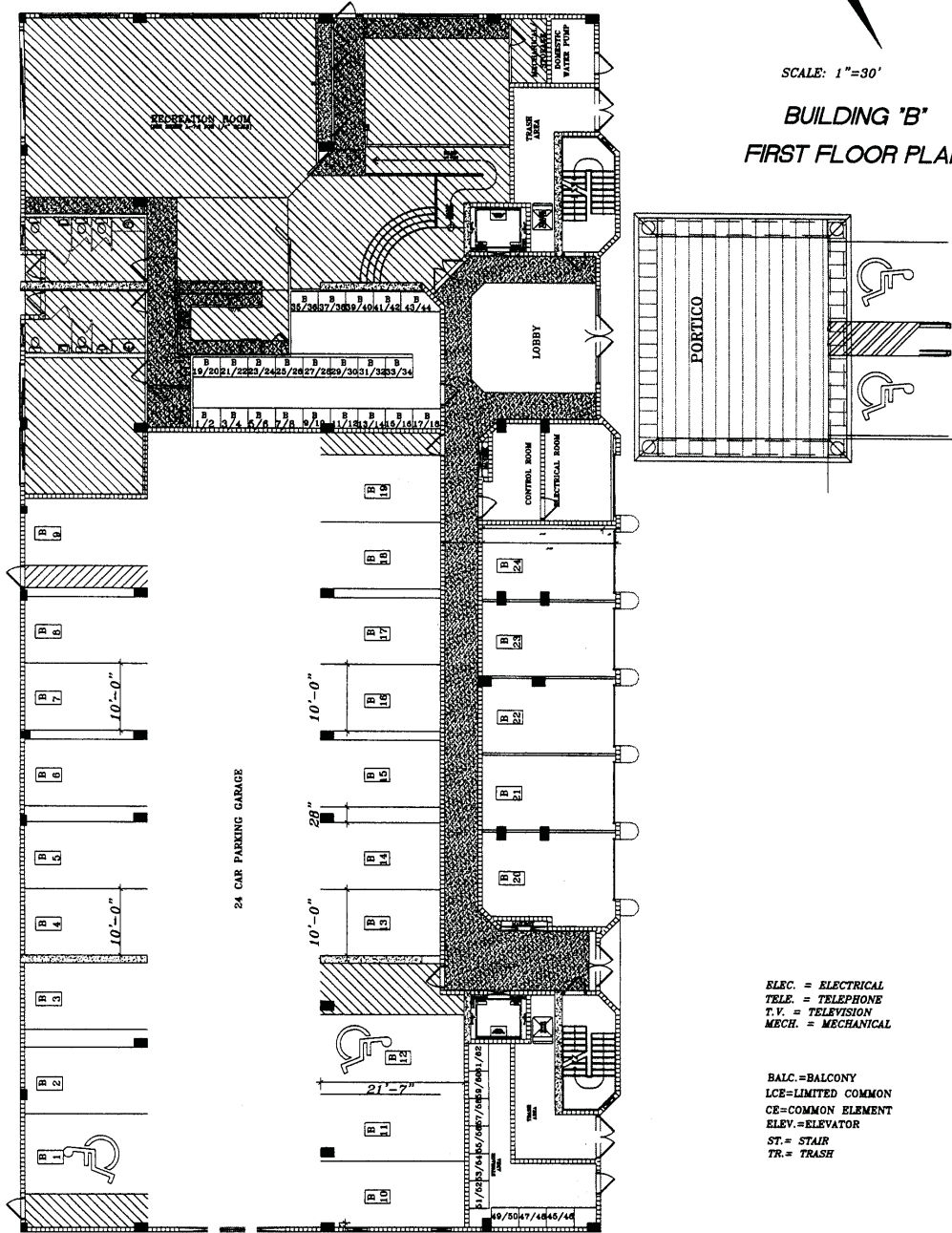
FIRST FLOOR PLAN



SCALE: 1"=30'

BUILDING 'B'

FIRST FLOOR PLAN



ELEC. = ELECTRICAL
 TELE. = TELEPHONE
 T.V. = TELEVISION
 MECH. = MECHANICAL

BALC. = BALCONY
 LCE = LIMITED COMMON
 CE = COMMON ELEMENT
 ELEV. = ELEVATOR
 ST. = STAIR
 TR. = TRASH

SURVEYOR'S NOTES:

1. THE FIRST FLOOR UNFINISHED FLOOR ELEVATION IS 13.00 FEET.
2. THE FIRST FLOOR UNFINISHED CEILING ELEVATION IS 23.84 FEET.
3. THE ENCLOSED GARAGES SHOWN ARE LIMITED TO THE USE OF THE INDICATED UNITS, AS SET FORTH IN THE DECLARATION.
4. (00) INDICATES THE GARAGE NUMBER DESIGNATION.
5. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
6. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
7. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
8. ALL DIMENSIONS FOR ENCLOSED PARKING SPACE WIDTHS ARE TO THE INSIDE OF INTERIOR COLUMNS OR WALLS.
9. ——— INDICATES LIMITS OF THE UNIT.

JANUARY 21, 2009

B.L.S.&C. INC.
 LAND SURVEYORS
 AND CONSULTANTS

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 (321) 693-4593 FAX (321) 726-0602

LAND SURVEYING / LAND PLATTING

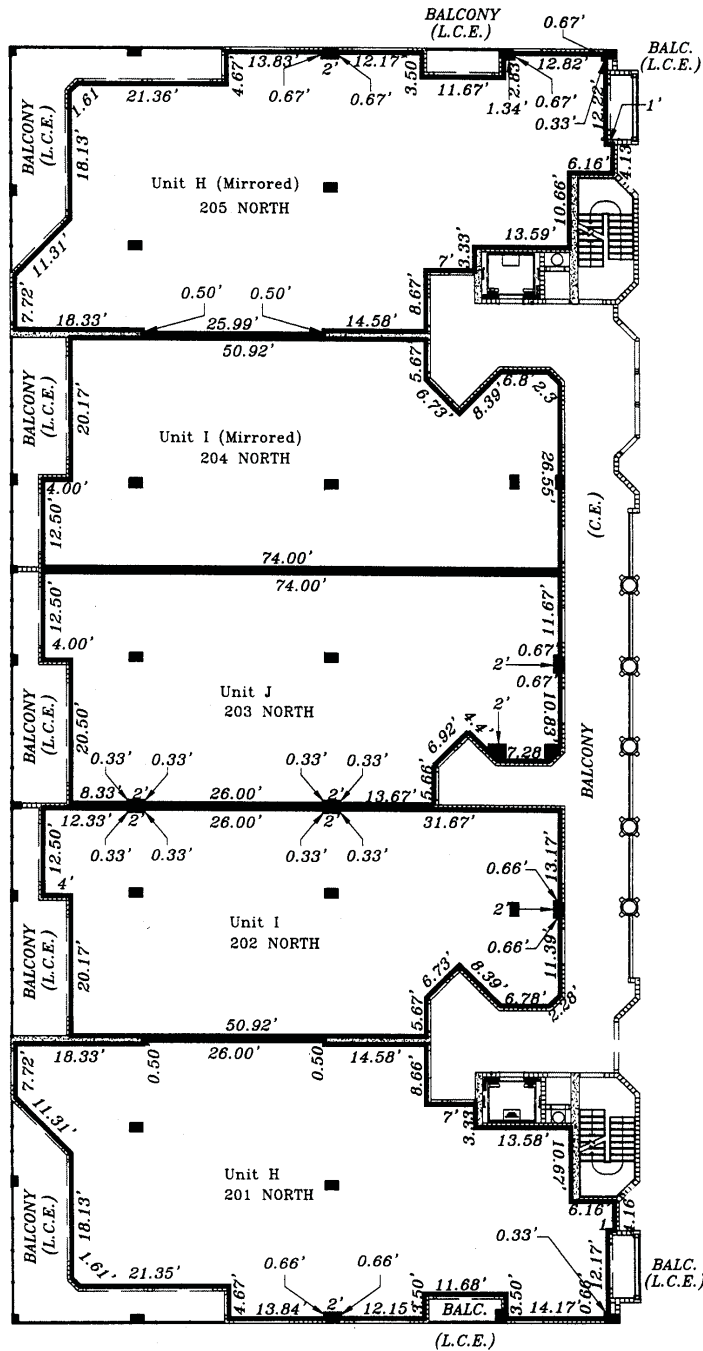
OCEANIQUE OCEANFRONT

A CONDOMINIUM

SECOND FLOOR PLAN



SCALE: 1"=20'
BUILDING "B"
SECOND FLOOR PLAN



ELEC. = ELECTRICAL
 TELE. = TELEPHONE
 T.V. = TELEVISION
 MECH. = MECHANICAL

BALC.=BALCONY
 LCE=LIMITED COMMON
 CE=COMMON ELEMENT
 ELEV.=ELEVATOR
 ST.= STAIR
 TR.= TRASH

SURVEYOR'S NOTES:

JANUARY 21, 2009

1. THE SECOND FLOOR UNFINISHED FLOOR ELEVATION IS 24.42 FEET.
2. THE SECOND FLOOR UNFINISHED CEILING ELEVATION IS 33.26 FEET.
3. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
4. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
6. ——— INDICATES LIMITS OF THE UNIT.
7. SEE SHEETS 41 THROUGH 45 FOR TYPICAL UNIT PLANS.

B.L.S.&C. INC.

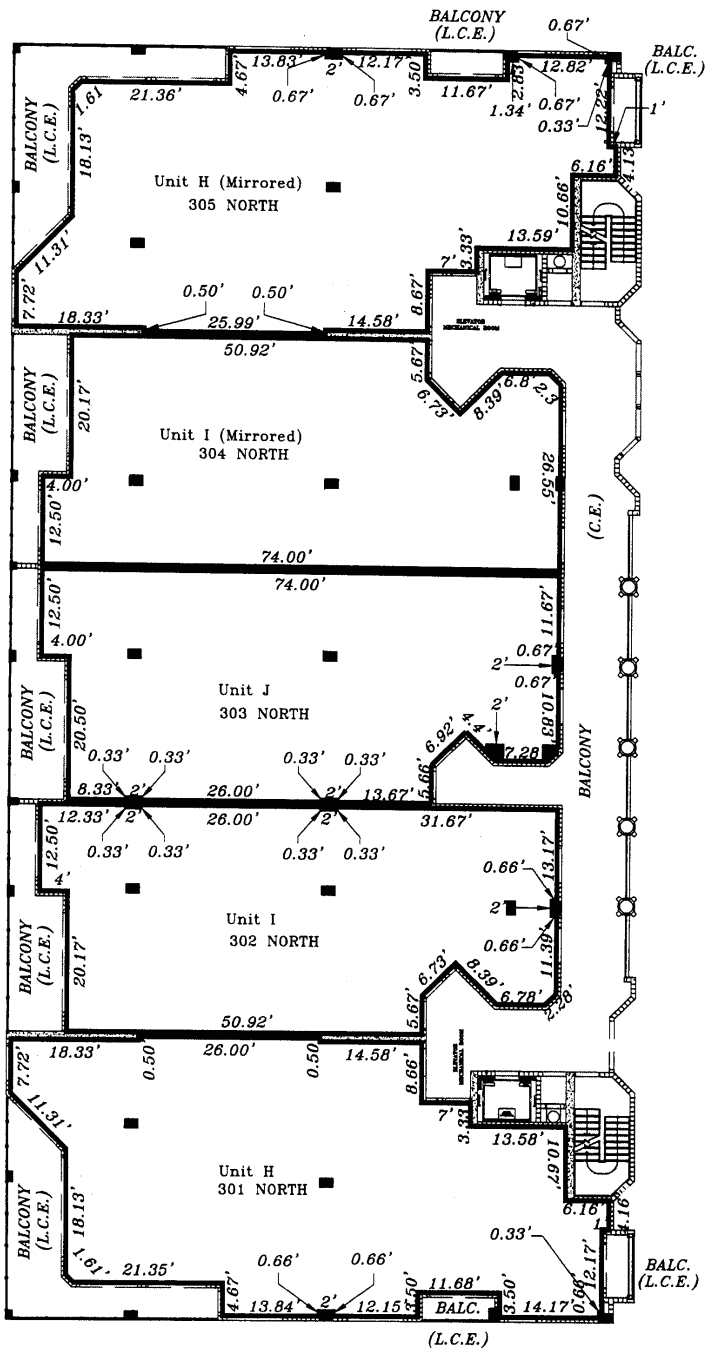
LAND SURVEYORS AND CONSULTANTS

37 ASBURY AVE. NE
 PALM BAY, FLORIDA 32907
 (321) 693-4993 FAX (321) 725-0602

LAND SURVEYING / LAND PLATTING

OCEANIQUE OCEANFRONT A CONDOMINIUM THIRD FLOOR PLAN

SCALE: 1"=20'
BUILDING 'B'
THIRD FLOOR PLAN



ELEC. = ELECTRICAL
TELE. = TELEPHONE
T.V. = TELEVISION
MECH. = MECHANICAL

BALC.=BALCONY
LCE=LIMITED COMMON
CE=COMMON ELEMENT
ELEV.=ELEVATOR
ST.= STAIR
TR.= TRASH

**SURVEYOR'S
NOTES:**

JANUARY 21,2009

1. THE THIRD FLOOR UNFINISHED FLOOR ELEVATION IS 33.83 FEET.
2. THE THIRD FLOOR UNFINISHED CEILING ELEVATION IS 42.67 FEET.
3. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
4. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
6. ——— INDICATES LIMITS OF THE UNIT.
7. SEE SHEETS 41 THROUGH 45 FOR TYPICAL UNIT PLANS.

B.L.S.&C. INC.

**LAND SURVEYORS
AND CONSULTANTS**

377 ASBURY AVE. NE
PALM BAY, FLORIDA 32907
(321)693-4593 FAX (321)725-0602

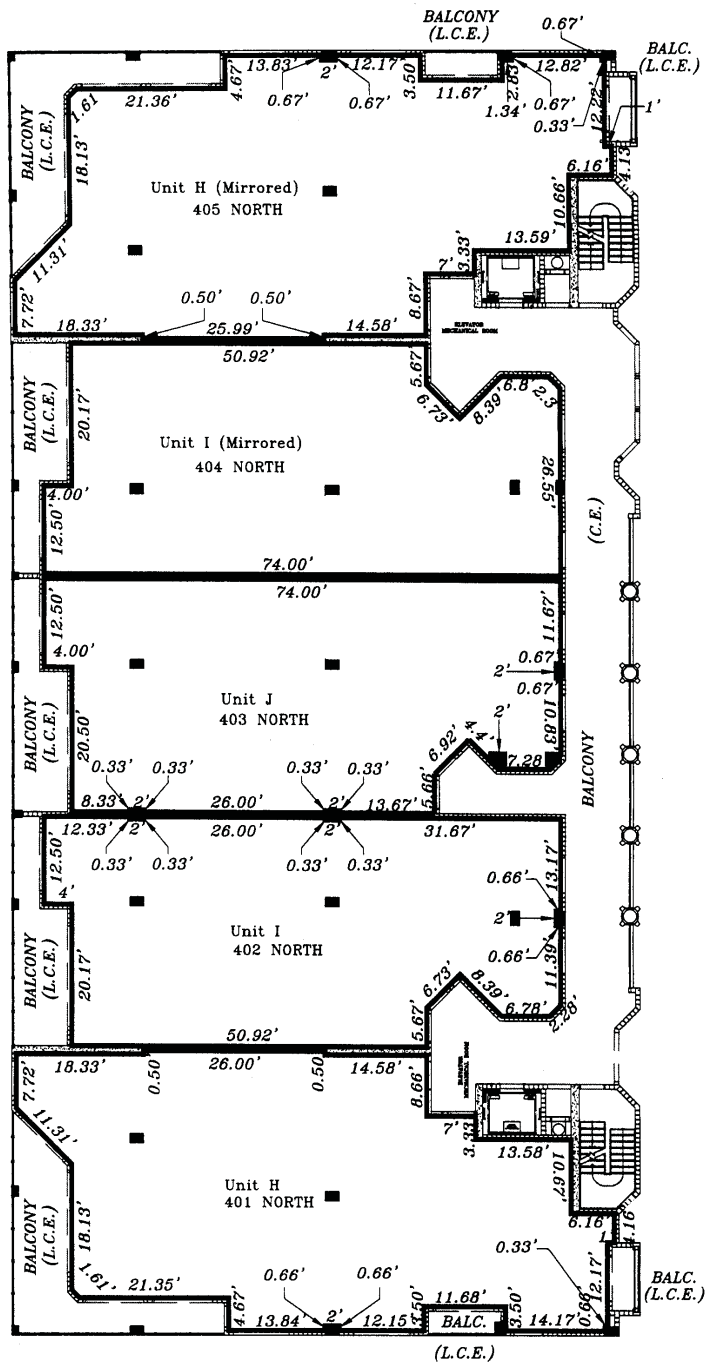
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OCEANIQUE OCEANFRONT

A CONDOMINIUM

FOURTH FLOOR PLAN

SCALE: 1"=20'
BUILDING 'B'
FOURTH FLOOR PLAN



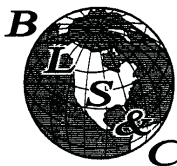
ELEC. = ELECTRICAL
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BALC.=BALCONY
LCE=LIMITED COMMON
CE=COMMON ELEMENT
ELEV.=ELEVATOR
ST.= STAIR
TR.= TRASH

SURVEYOR'S NOTES:

JANUARY 21, 2009

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LAND SURVEYORS
AND CONSULTANTS

57 ASBURY AVE. N.E.
PALM BAY, FLORIDA 32907
(321)493-4593 FAX (321)265-0602

LAND SURVEYING / LAND PLATTING

- 1. THE FOURTH FLOOR UNFINISHED FLOOR ELEVATION IS 43.25 FEET.
- 2. THE FOURTH FLOOR UNFINISHED CEILING ELEVATION IS 52.09 FEET.
- 3. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
- 4. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
- 5. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
- 6. ——— INDICATES LIMITS OF THE UNIT.
- 7. SEE SHEETS 41 THROUGH 45 FOR TYPICAL UNIT PLANS.

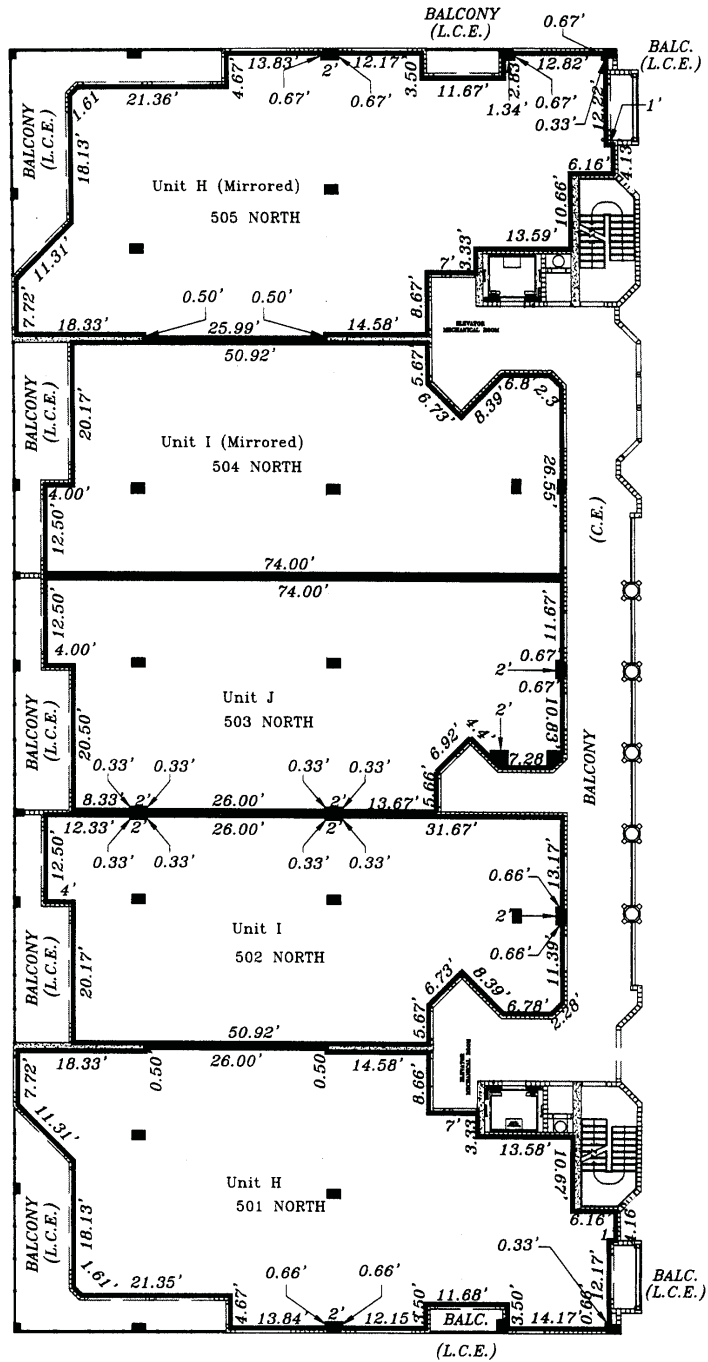
OCEANIQUE OCEANFRONT

A CONDOMINIUM

FIFTH FLOOR PLAN



SCALE: 1"=20'
BUILDING 'B'
FIFTH FLOOR PLAN



ELEC. = ELECTRICAL
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 CE=COMMON ELEMENT
 ELEV.=ELEVATOR
 ST.= STAIR
 TR.= TRASH

SURVEYOR'S NOTES:

JANUARY 21, 2009

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LAND SURVEYORS
AND CONSULTANTS

371 ASBURY AVE. NE
PALM BAY, FLORIDA 32907
(321)693-4593 FAX (321)726-0602

LAND SURVEYING / LAND PLATTING

1. THE FIFTH FLOOR UNFINISHED FLOOR ELEVATION IS 52.67 FEET.
2. THE FIFTH FLOOR UNFINISHED CEILING ELEVATION IS 61.51 FEET.
3. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
4. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
6. ——— INDICATES LIMITS OF THE UNIT.
7. SEE SHEETS 41 THROUGH 45 FOR TYPICAL UNIT PLANS.

OCEANIQUE OCEANFRONT

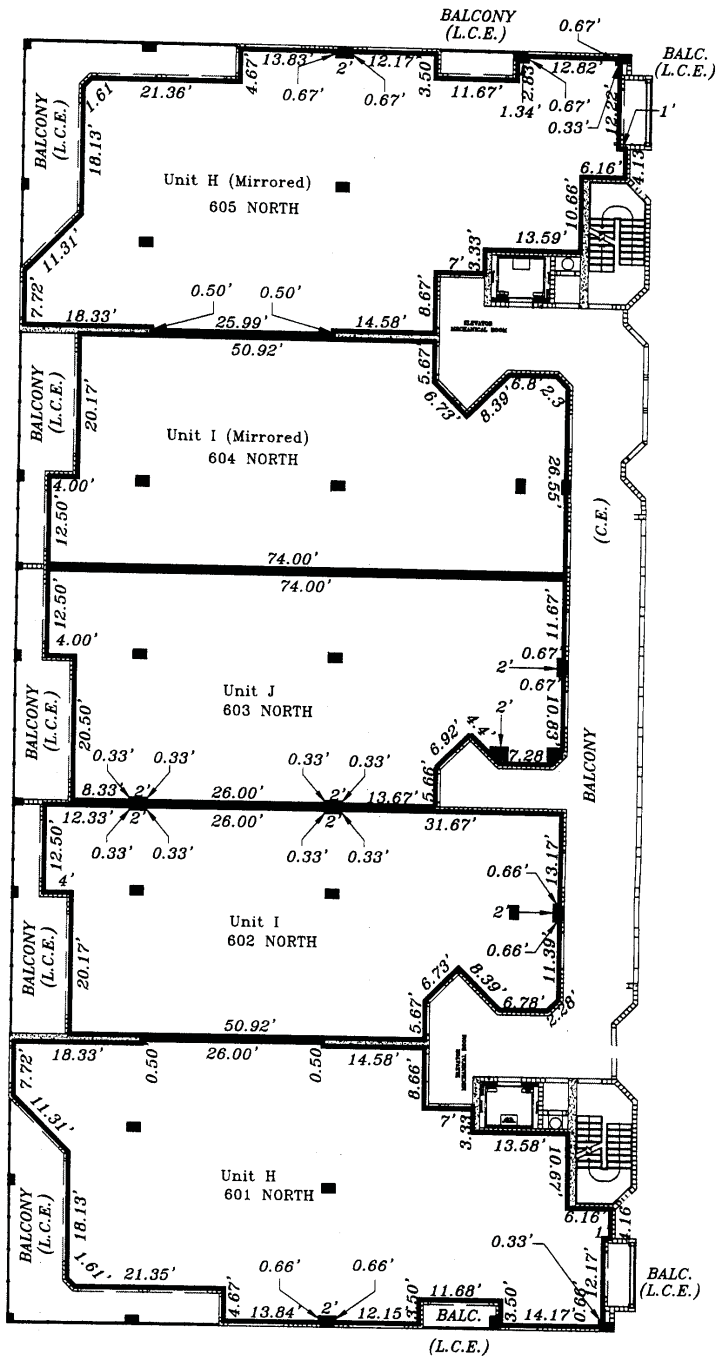
A CONDOMINIUM

SIXTH FLOOR PLAN

SCALE: 1"=20'
BUILDING 'B'
SIXTH FLOOR PLAN

ELEC. = ELECTRICAL
 TELE. = TELEPHONE
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BALC.=BALCONY
 LCE=LIMITED COMMON
 CE=COMMON ELEMENT
 ELEV.=ELEVATOR
 ST.= STAIR
 TR.= TRASH



**SURVEYOR'S
 NOTES:**

JANUARY 21, 2009

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AND CONSULTANTS

571 ASBURY AVE. N.E.
PALM BAY, FLORIDA 32907
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LAND SURVEYING / LAND PLATTING

1. THE SIXTH FLOOR UNFINISHED FLOOR ELEVATION IS 62.08 FEET.
2. THE SIXTH FLOOR UNFINISHED CEILING ELEVATION IS 70.92 FEET.
3. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
4. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
6. ——— INDICATES LIMITS OF THE UNIT.
7. SEE SHEETS 41 THROUGH 45 FOR TYPICAL UNIT PLANS.

OCEANIQUE OCEANFRONT
A CONDOMINIUM
SEVENTH FLOOR PLAN

SCALE: 1"=20'
BUILDING "B"
SEVENTH FLOOR PLAN

Unit H (Mirrored)
705 NORTH

Unit I (Mirrored)
704 NORTH

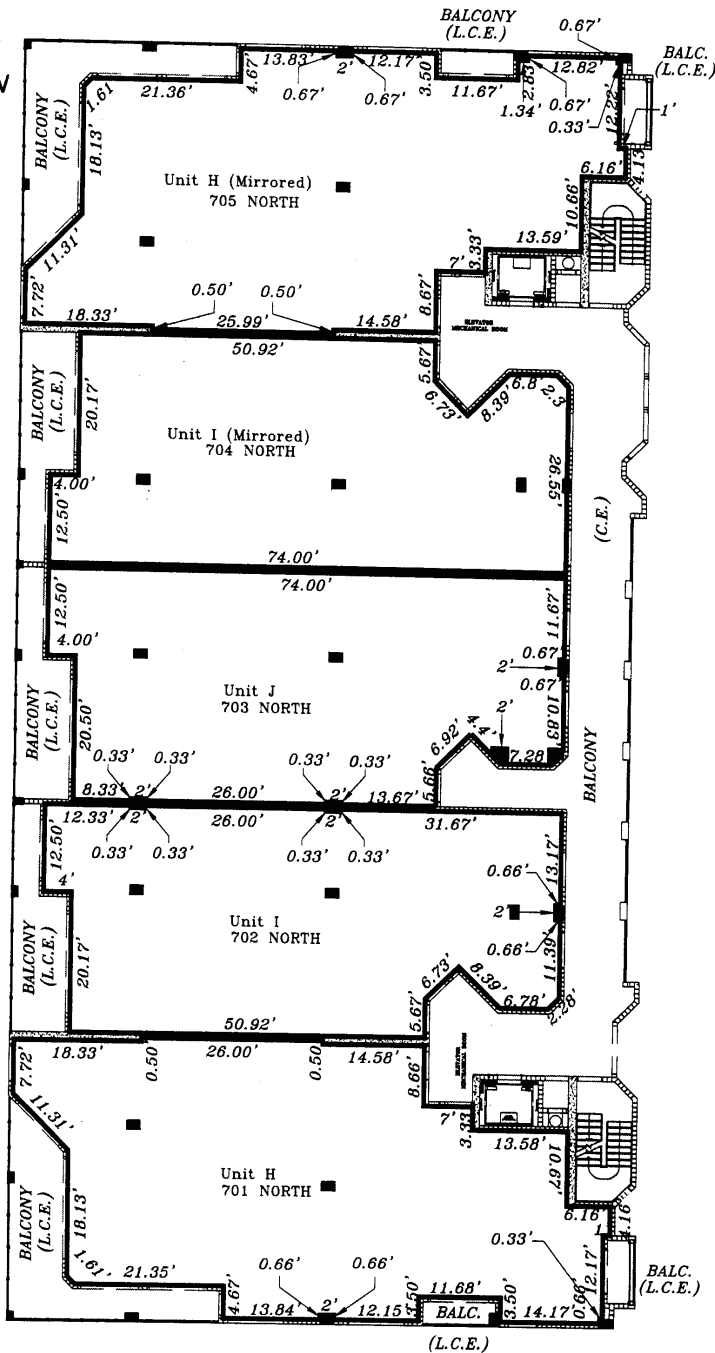
Unit J
703 NORTH

Unit I
702 NORTH

Unit H
701 NORTH

ELEC. = ELECTRICAL
TELE. = TELEPHONE
T.V. = TELEVISION
MECH. = MECHANICAL

BALC.=BALCONY
LCE=LIMITED COMMON
CE=COMMON ELEMENT
ELEV.=ELEVATOR
ST.= STAIR
TR.= TRASH



SURVEYOR'S NOTES:

1. THE SEVENTH FLOOR UNFINISHED FLOOR ELEVATION IS 71.50 FEET.
2. THE SEVENTH FLOOR UNFINISHED CEILING ELEVATION IS 80.34 FEET.
3. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
4. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
6. ————— INDICATES LIMITS OF THE UNIT.
7. SEE SHEETS 41 THROUGH 45 FOR TYPICAL UNIT PLANS.

JANUARY 21, 2009

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LAND SURVEYORS AND CONSULTANTS
571 ASBURY AVE. N.E.
PALM BAY, FLORIDA 32907
(321)493-4593 FAX (321)726-0602
LAND SURVEYING / LAND FLATTING

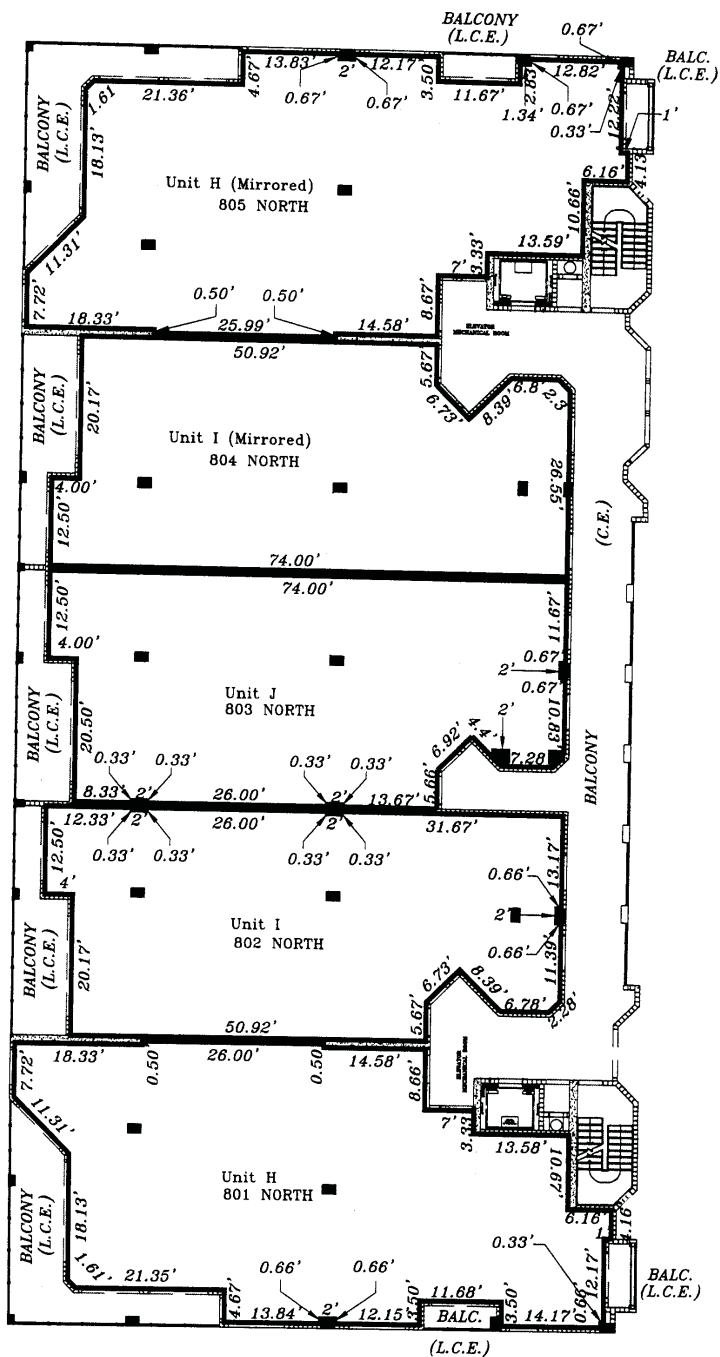
OCEANIQUE OCEANFRONT

A CONDOMINIUM

EIGHTH FLOOR PLAN



SCALE: 1"=20'
 BUILDING 'B'
 EIGHTH FLOOR PLAN



ELEC. = ELECTRICAL
 TELE. = TELEPHONE
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 MECH. = MECHANICAL

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 LCE=LIMITED COMMON
 CE=COMMON ELEMENT
 ELEV.=ELEVATOR
 ST.= STAIR
 TR.= TRASH

SURVEYOR'S NOTES:

1. THE EIGHTH FLOOR UNFINISHED FLOOR ELEVATION IS 80.92 FEET.
2. THE EIGHTH FLOOR UNFINISHED CEILING ELEVATION IS 89.76 FEET.
3. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
4. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
6. ——— INDICATES LIMITS OF THE UNIT.
7. SEE SHEETS 41 THROUGH 45 FOR TYPICAL UNIT PLANS.

JANUARY 21, 2009

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LAND SURVEYORS
AND CONSULTANTS

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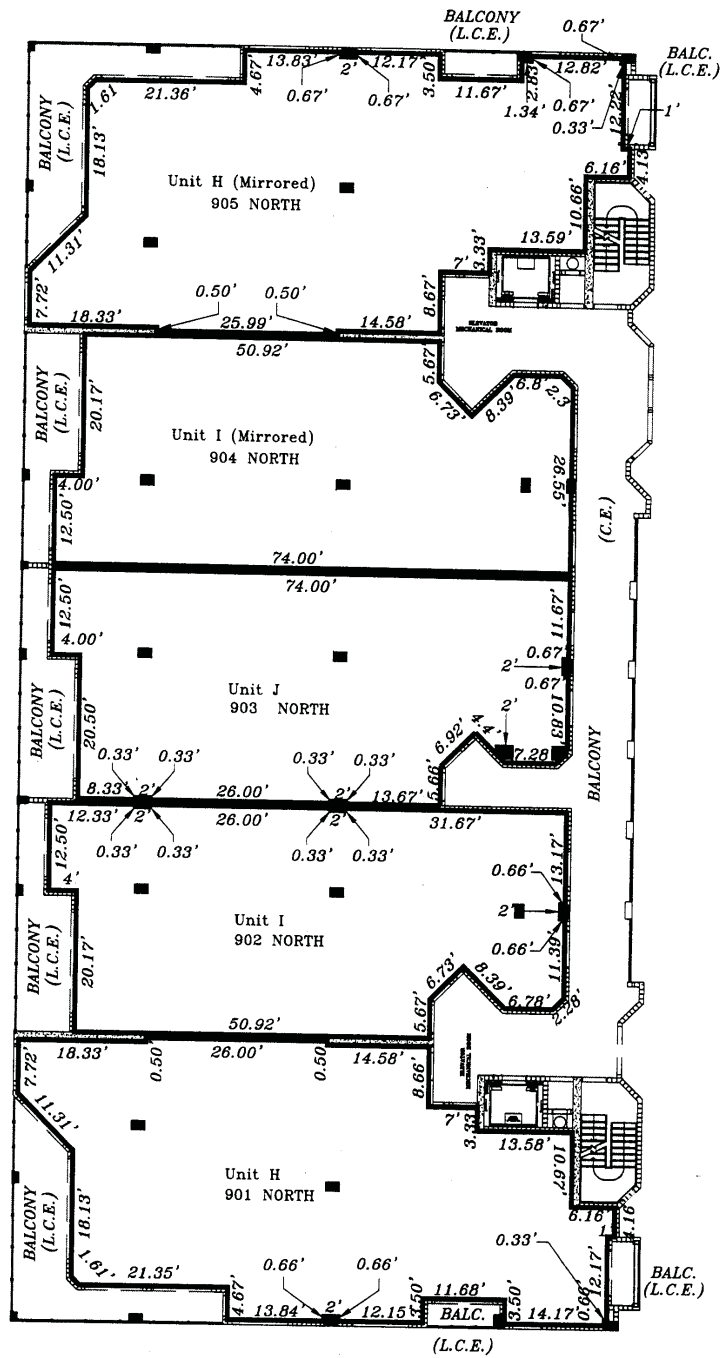
OCEANIQUE OCEANFRONT

A CONDOMINIUM

NINTH FLOOR PLAN



SCALE: 1"=20'
BUILDING 'B'
NINTH FLOOR PLAN



ELEC. = ELECTRICAL
 TELE. = TELEPHONE
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BALC.=BALCONY
 LCE=LIMITED COMMON
 CE=COMMON ELEMENT
 ELEV.=ELEVATOR
 ST.= STAIR
 TR.= TRASH

SURVEYOR'S NOTES:

JANUARY 21, 2009

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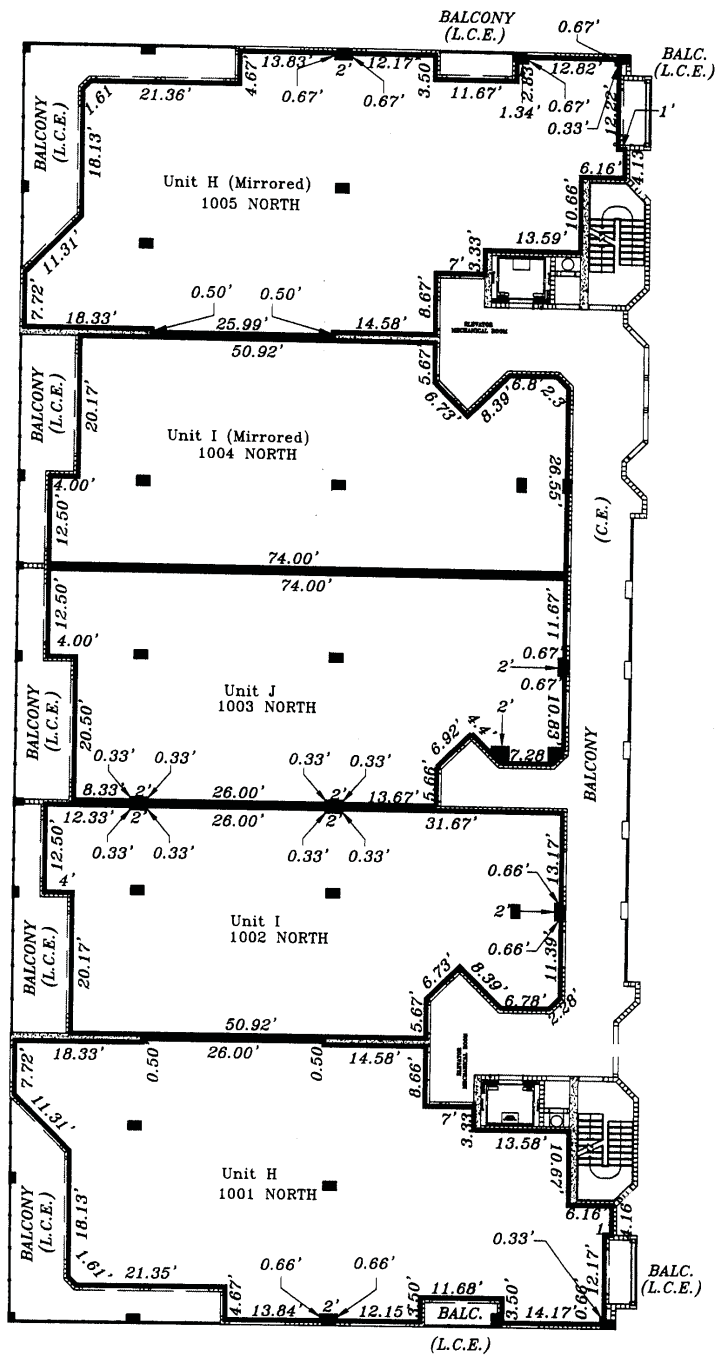
1. THE NINTH FLOOR UNFINISHED FLOOR ELEVATION IS 90.33 FEET.
2. THE NINTH FLOOR UNFINISHED CEILING ELEVATION IS 99.17 FEET.
3. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
4. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
6. ——— INDICATES LIMITS OF THE UNIT.
7. SEE SHEETS 41 THROUGH 45 FOR TYPICAL UNIT PLANS.

OCEANIQUE OCEANFRONT

A CONDOMINIUM

TENTH FLOOR PLAN

SCALE: 1"=20'
BUILDING 'B'
TENTH FLOOR PLAN



ELEC. = ELECTRICAL
 TELE. = TELEPHONE
 T.V. = TELEVISION
 MECH. = MECHANICAL

BALC.=BALCONY
 LCE=LIMITED COMMON
 CE=COMMON ELEMENT
 ELEV.=ELEVATOR
 ST.= STAIR
 TR.= TRASH

**SURVEYOR'S
 NOTES:**

JANUARY 21, 2009

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LAND SURVEYING / LAND PLATTING

1. THE TENTH FLOOR UNFINISHED FLOOR ELEVATION IS 99.75 FEET.
2. THE TENTH FLOOR UNFINISHED CEILING ELEVATION IS 108.59 FEET.
3. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
4. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
6. ——— INDICATES LIMITS OF THE UNIT.
7. SEE SHEETS 41 THROUGH 45 FOR TYPICAL UNIT PLANS.

OCEANIQUE OCEANFRONT

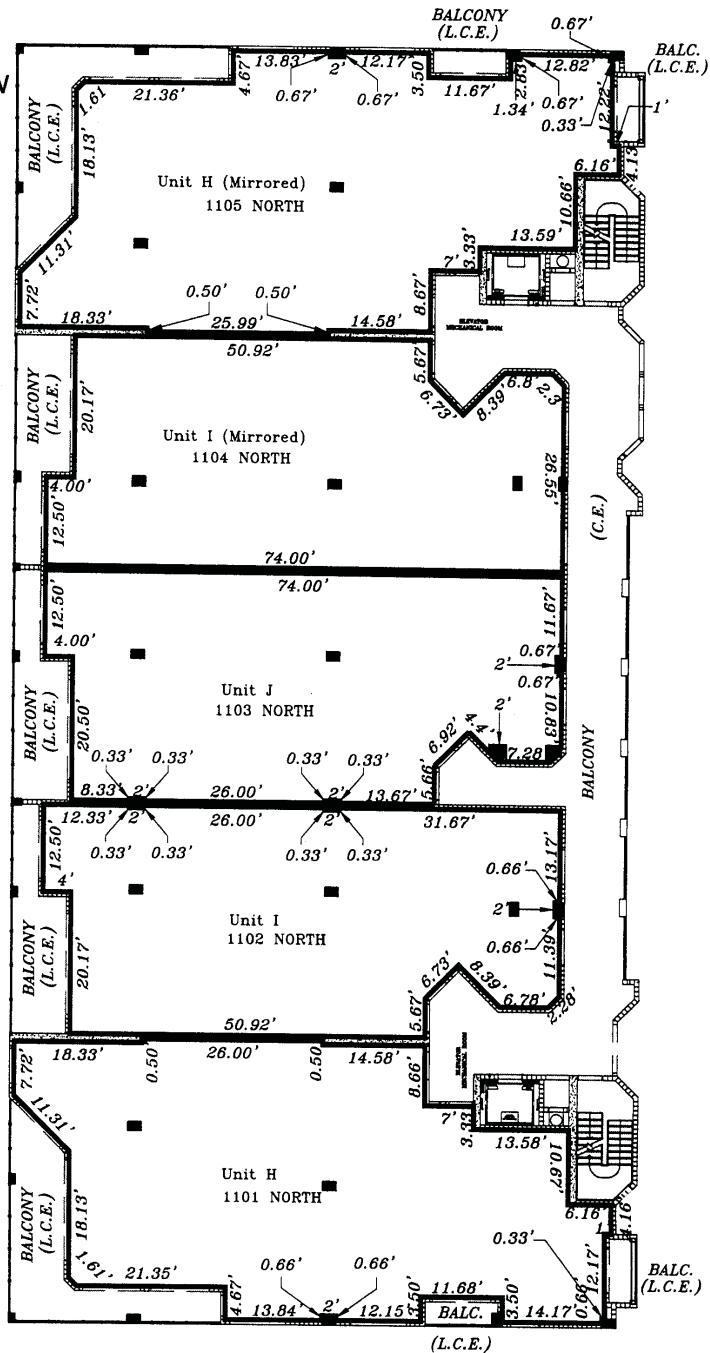
A CONDOMINIUM

ELEVENTH FLOOR PLAN

SCALE: 1"=20'
BUILDING "B"
ELEVENTH FLOOR PLAN

ELEC. = ELECTRICAL
 TELE. = TELEPHONE
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 MECH. = MECHANICAL

BALC.=BALCONY
 LCE=LIMITED COMMON
 CE=COMMON ELEMENT
 ELEV.=ELEVATOR
 ST.= STAIR
 TR.= TRASH



**SURVEYOR'S
 NOTES:**

JANUARY 21, 2009

1. THE ELEVENTH FLOOR UNFINISHED FLOOR ELEVATION IS 109.17 FEET.
2. THE ELEVENTH FLOOR UNFINISHED CEILING ELEVATION IS 118.01 FEET
3. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
4. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
6. ——— INDICATES LIMITS OF THE UNIT.
7. SEE SHEETS 41 THROUGH 45 FOR TYPICAL UNIT PLANS.

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AND CONSULTANTS

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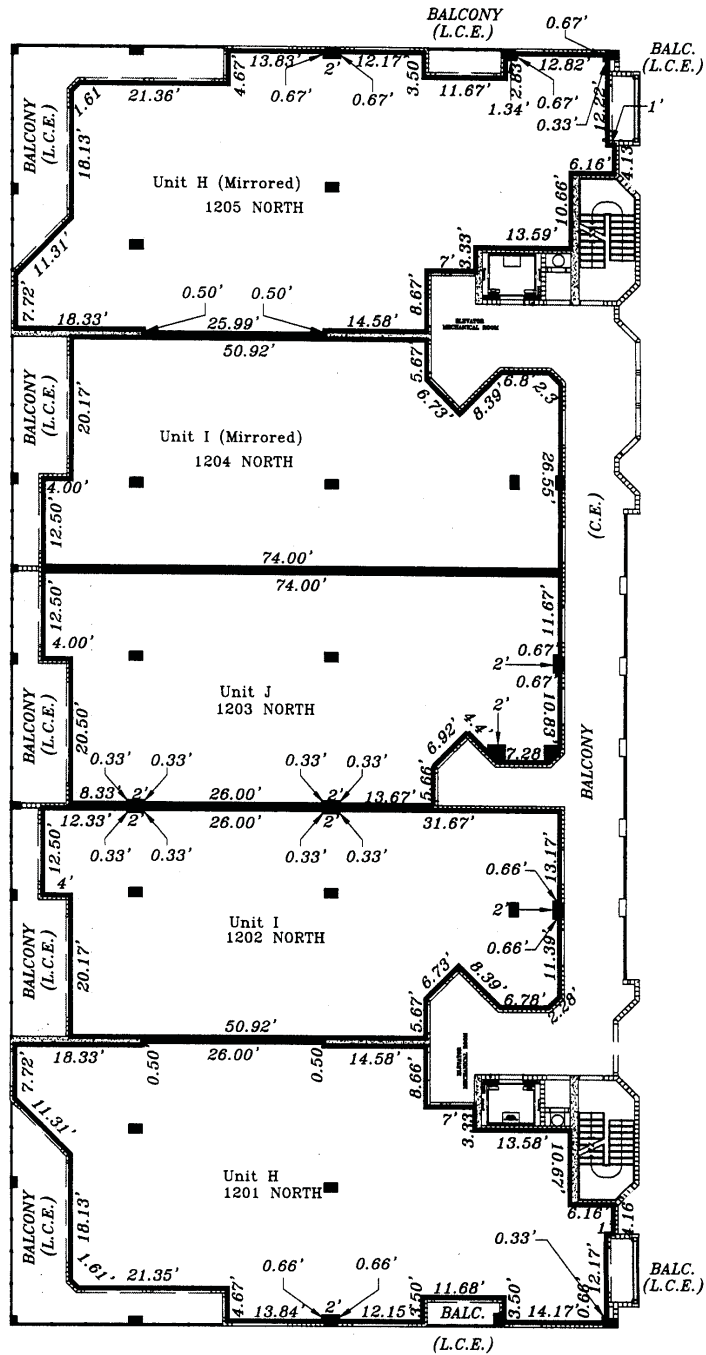
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A CONDOMINIUM

TWELFTH FLOOR PLAN



SCALE: 1"=20'
BUILDING 'B'
TWELFTH FLOOR PLAN



ELEC. = ELECTRICAL
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 ELEV.=ELEVATOR
 ST.= STAIR
 TR.= TRASH

**SURVEYOR'S
 NOTES:**

JANUARY 21, 2009

1. THE TWELFTH FLOOR UNFINISHED FLOOR ELEVATION IS 118.58 FEET.
2. THE TWELFTH FLOOR UNFINISHED CEILING ELEVATION IS 127.42 FEET.
3. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
4. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
6. ——— INDICATES LIMITS OF THE UNIT.
9. SEE SHEETS 41 THROUGH 45 FOR TYPICAL UNIT PLANS.

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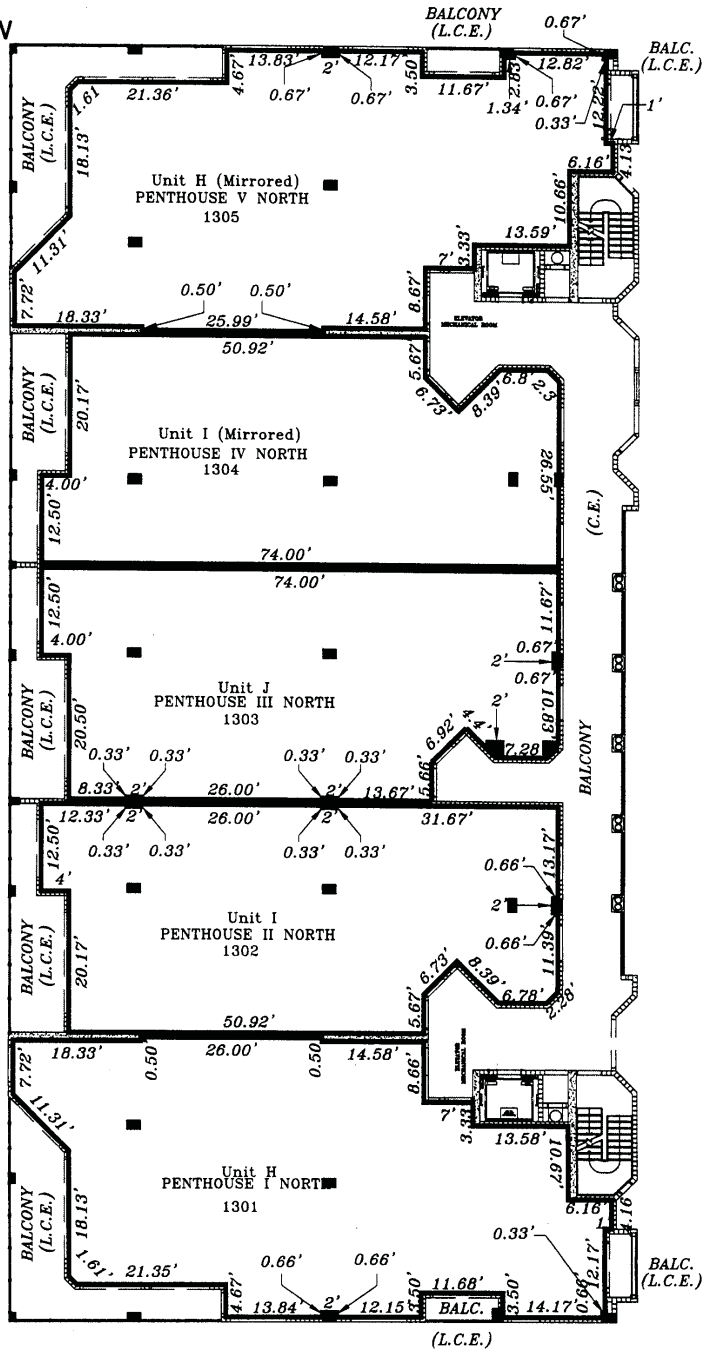
LAND SURVEYING / LAND PLATTING

OCEANIQUE OCEANFRONT

A CONDOMINIUM

THIRTEENTH FLOOR PLAN

SCALE: 1"=20'
BUILDING "B"
THIRTEENTH FLOOR PLAN
PENTHOUSE



ELEC. = ELECTRICAL
 TELE. = TELEPHONE
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 MECH. = MECHANICAL

BALC.=BALCONY
 LCE=LIMITED COMMON
 CE=COMMON ELEMENT
 ELEV.=ELEVATOR
 ST.= STAIR
 TR.= TRASH

**SURVEYOR'S
 NOTES:**

JANUARY 21, 2009

1. THE THIRTEENTH FLOOR UNFINISHED FLOOR ELEVATION IS 128.00 FEET.
2. THE THIRTEENTH FLOOR UNFINISHED CEILING ELEVATION IS 136.84 FEET

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 PALM BAY, FLORIDA 32907
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LAND SURVEYING / LAND PLATTING

3. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
4. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
6. ——— INDICATES LIMITS OF THE UNIT.
7. SEE SHEETS 41 THROUGH 45 FOR TYPICAL UNIT PLANS.

OCEANIQUE OCEANFRONT

A CONDOMINIUM



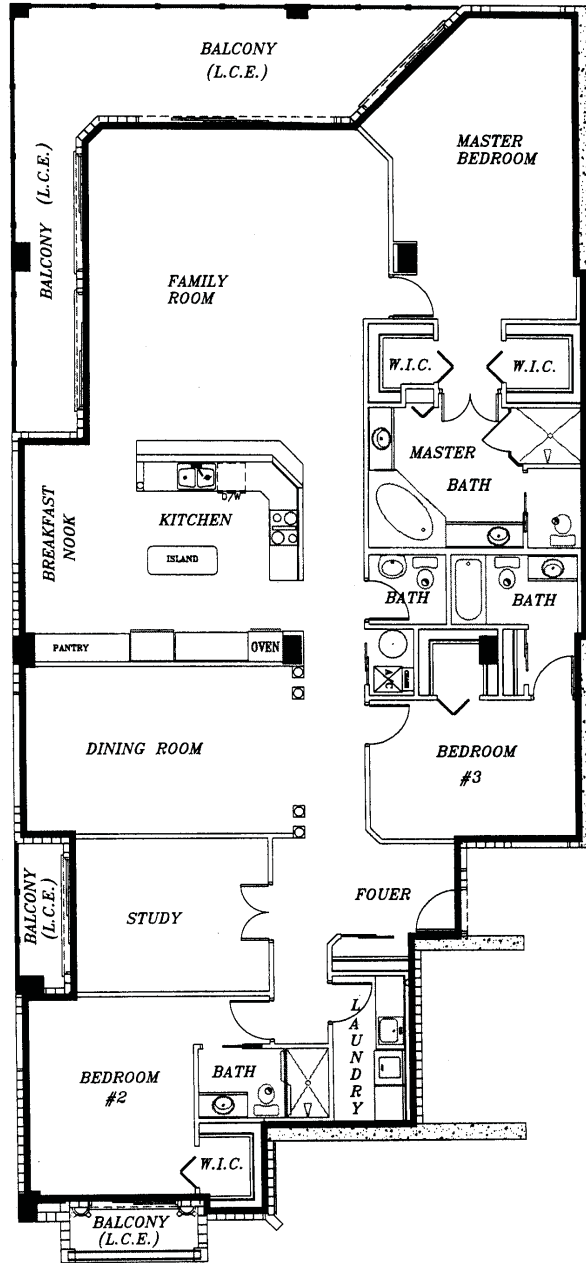
SCALE: 1"=10'

TYPICAL UNIT "H" 201-NORTH through PENTHOUSE I (1301)
 BUILDING "B"
 FLOORS 2 THROUGH PENTHOUSE

SURVEYOR'S NOTES:

1. _____ INDICATES THE LIMITS OF THE UNIT
2. ALL AREAS AND IMPROVEMENTS EXCLUSIVE OF THE UNIT ARE COMMON ELEMENTS OF THE CONDOMINIUM.
3. THE BALCONIES ARE LIMITED COMMON ELEMENTS OF THE CONDOMINIUM, LIMITED TO THE USE OF THE ADJACENT UNIT.
4. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. REFER TO THE FLOOR PLANS ON SHEETS 29 THROUGH 40 FOR THE LOCATION OF THIS UNIT WITHIN THE BUILDING.

LCE=LIMITED COMMON ELEMENT
 CE=COMMON ELEMENT
 ELEV.=ELEVATOR



REVISED DEC. 22, 2006

JANUARY 21, 2009



B.L.S.&C. INC.
 LAND SURVEYORS
 AND CONSULTANTS
 397 ASBURY AVE. NE
 PALM BAY, FLORIDA 32907
 (321) 693-4293 FAX (321) 726-0602

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OCEANIQUE OCEANFRONT

A CONDOMINIUM



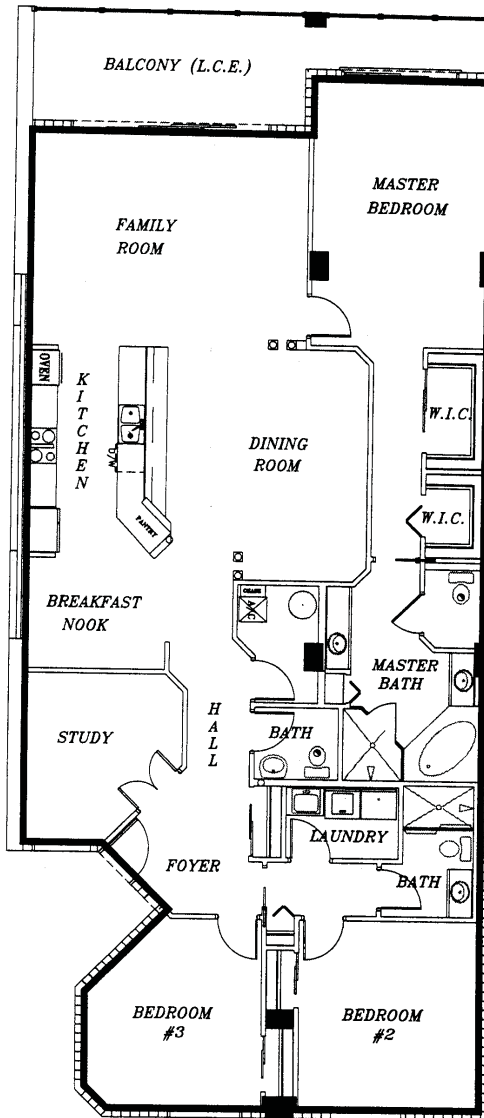
SCALE: 1"=10'

TYPICAL UNIT "I" 202-B through PENTHOUSE II (1302)
 BUILDING "B"
 FLOORS 2 THROUGH PENTHOUSE

SURVEYOR'S NOTES:

1. _____ INDICATES THE LIMITS OF THE UNIT
2. ALL AREAS AND IMPROVEMENTS EXCLUSIVE OF THE UNIT ARE COMMON ELEMENTS OF THE CONDOMINIUM.
3. THE BALCONIES ARE LIMITED COMMON ELEMENTS OF THE CONDOMINIUM, LIMITED TO THE USE OF THE ADJACENT UNIT.
4. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. REFER TO THE FLOOR PLANS ON SHEETS 29 THROUGH 40 FOR THE LOCATION OF THIS UNIT WITHIN THE BUILDING.

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LAND SURVEYORS
 AND CONSULTANTS

397 ASBURY AVE. N.E.

PALM BAY, FLORIDA 32907

(321)493-4593 FAX (321)726-0602



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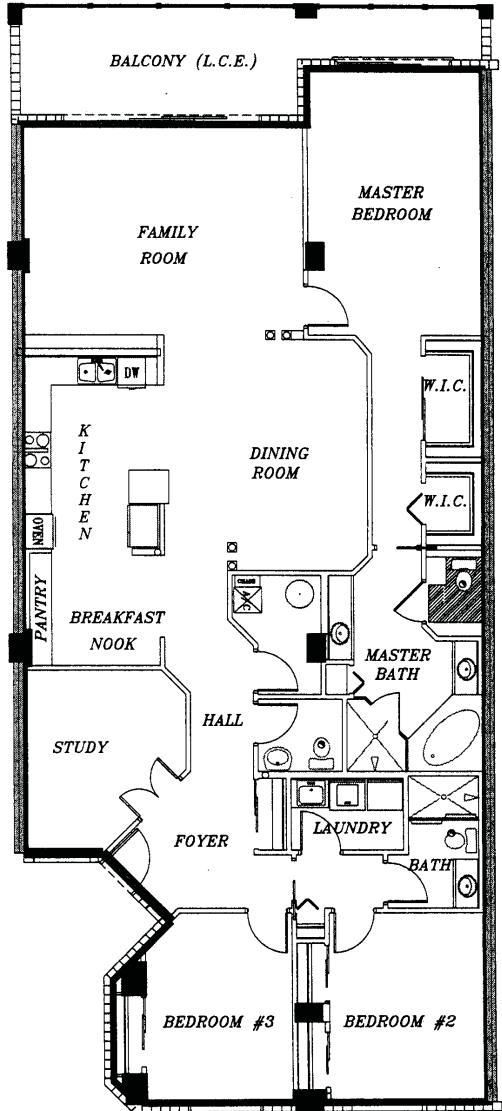
A CONDOMINIUM

TYPICAL UNIT "J" 203-B through PENTHOUSE III (1303)
 BUILDING "B"
 FLOORS 2 THROUGH PENTHOUSE



- SURVEYOR'S NOTES:**
1. _____ INDICATES THE LIMITS OF THE UNIT
 2. ALL AREAS AND IMPROVEMENTS EXCLUSIVE OF THE UNIT ARE COMMON ELEMENTS OF THE CONDOMINIUM.
 3. THE BALCONIES ARE LIMITED COMMON ELEMENTS OF THE CONDOMINIUM, LIMITED TO THE USE OF THE ADJACENT UNIT.
 4. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
 5. REFER TO THE FLOOR PLANS ON SHEETS 29 THROUGH 40 FOR THE LOCATION OF THIS UNIT WITHIN THE BUILDING.

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B.L.S.&C. INC.

LAND SURVEYORS
AND CONSULTANTS

397 ASBURY AVE. NE
PALM BAY, FLORIDA 32907
329-4893 FAX 329-0602

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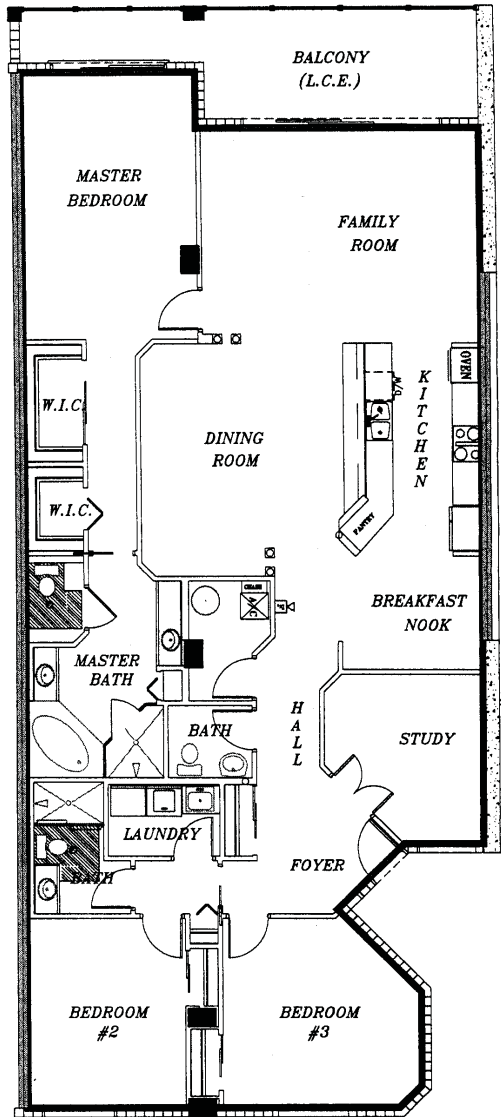
SCALE: 1"=10'

TYPICAL UNIT "I" MIRRORED" 204-B through PENTHOUSE IV (1304)
 BUILDING "B"
 FLOORS 2 THROUGH PENTHOUSE

SURVEYOR'S NOTES:

1. _____ INDICATES THE LIMITS OF THE UNIT
2. ALL AREAS AND IMPROVEMENTS EXCLUSIVE OF THE UNIT ARE COMMON ELEMENTS OF THE CONDOMINIUM.
3. THE BALCONIES ARE LIMITED COMMON ELEMENTS OF THE CONDOMINIUM, LIMITED TO THE USE OF THE ADJACENT UNIT.
4. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
5. REFER TO THE FLOOR PLANS ON SHEETS 29 THROUGH 40 FOR THE LOCATION OF THIS UNIT WITHIN THE BUILDING.

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 ELEV.=ELEVATOR



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 LAND SURVEYORS
 AND CONSULTANTS

37 ASBURY AVE. N.E.
 PALM BAY, FLORIDA 32907
 (321) 623-4593 FAX (321) 726-0602

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SCALE: 1"=10'

TYPICAL UNIT "H MIRRORED" 205-B through PENTHOUSE V (1305)

BUILDING "B"

FLOORS 2 THROUGH PENTHOUSE

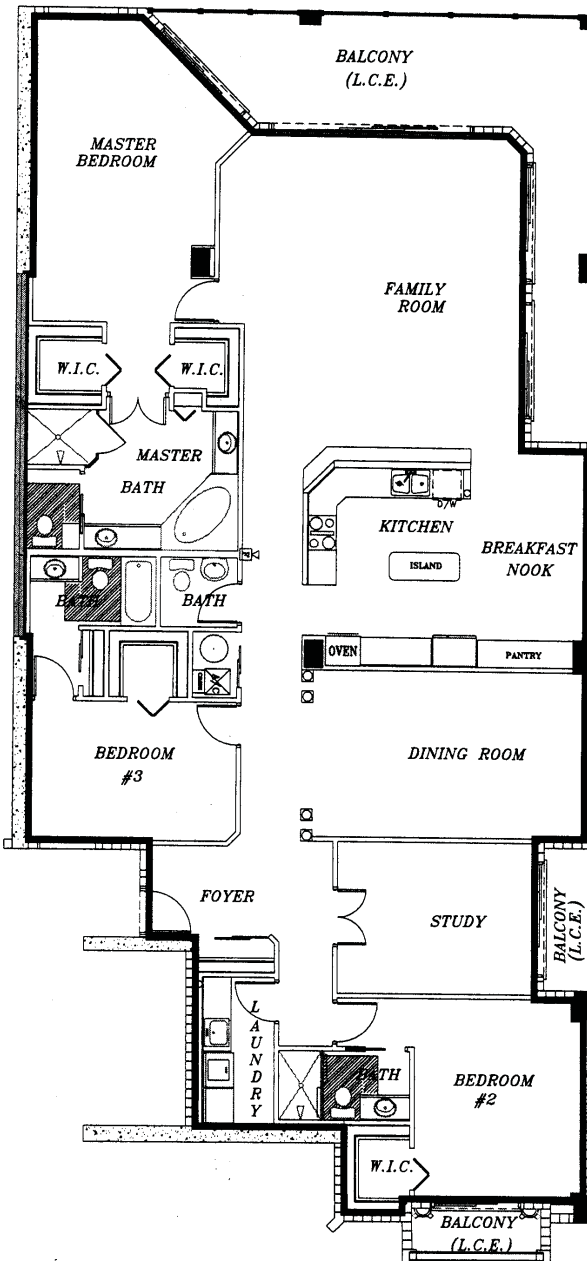
SURVEYOR'S NOTES:

1. _____ INDICATES THE LIMITS OF THE UNIT
2. ALL AREAS AND IMPROVEMENTS EXCLUSIVE OF THE UNIT ARE COMMON ELEMENTS OF THE CONDOMINIUM.
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5. REFER TO THE FLOOR PLANS ON SHEETS 29 THROUGH 40 FOR THE LOCATION OF THIS UNIT WITHIN THE BUILDING.

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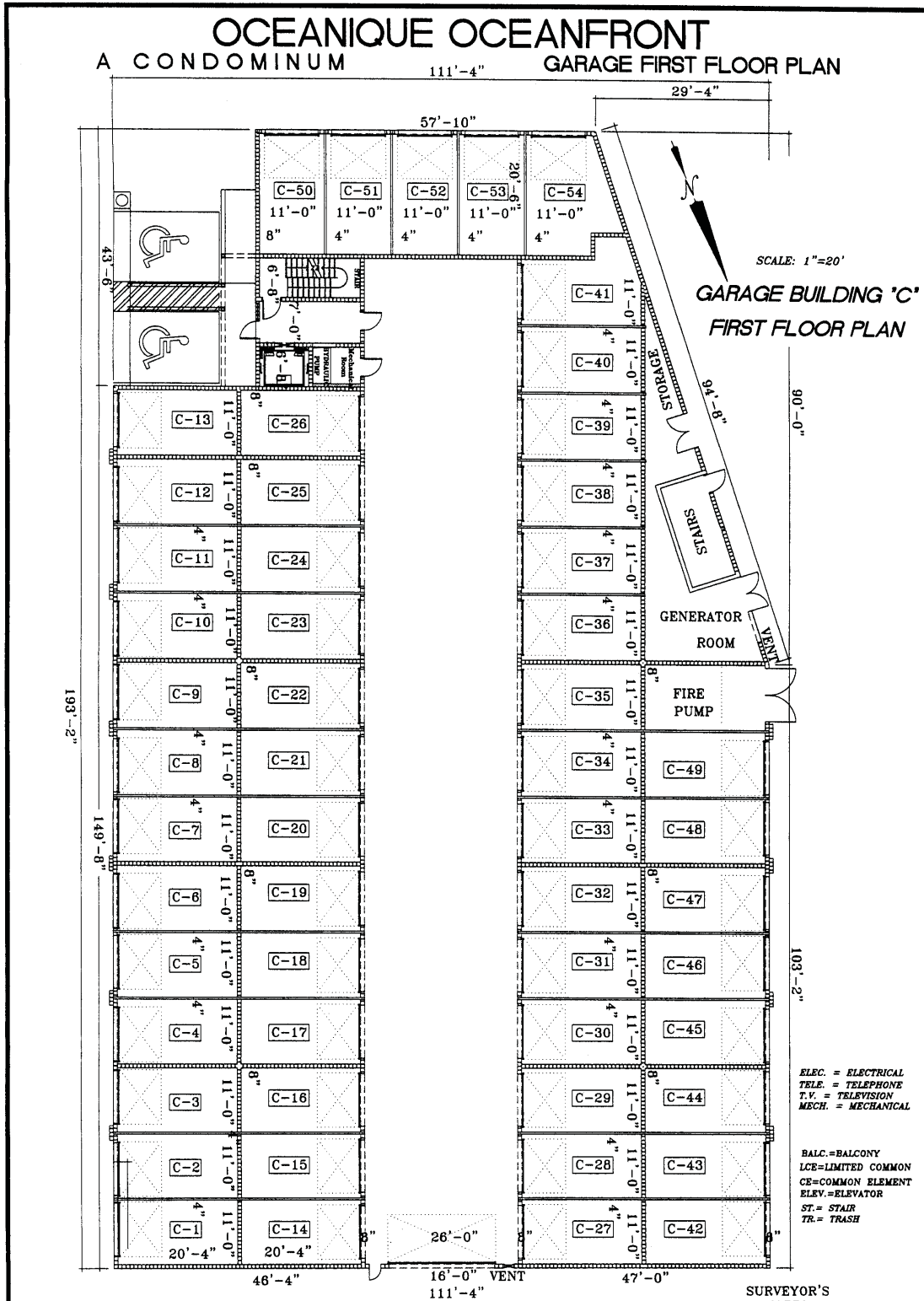


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B.L.S.&C. INC.
 LAND SURVEYORS
 AND CONSULTANTS
 597 ASBURY AVE. N.E.
 PALM BAY, FLORIDA 32907
 (321) 693-4593 FAX (321) 726-0602
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1. THE FIRST FLOOR UNFINISHED FLOOR ELEVATION IS 10.33, 11.00 AND 12.33 FEET.
2. THE FIRST FLOOR UNFINISHED CEILING ELEVATION IS 21.33, FEET.
3. THE ENCLOSED GARAGES SHOWN ARE LIMITED TO THE USE OF THE INDICATED UNITS, AS SET FORTH IN THE DECLARATION.
4. Ⓞ INDICATES THE GARAGE NUMBER DESIGNATION.
5. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. (NATIONAL GEODETIC VERTICAL DATUM).
6. ALL AREAS AND IMPROVEMENTS, EXCLUSIVE OF THE UNITS, ARE COMMON ELEMENTS OF THE CONDOMINIUM.
7. ALL STRUCTURAL FEATURES (COLUMNS, ETC.) ARE COMMON ELEMENTS OF THE CONDOMINIUM.
8. ALL DIMENSIONS FOR ENCLOSED PARKING SPACE WIDTHS ARE TO THE INSIDE OF INTERIOR COLUMNS OR WALLS.
9. ——— INDICATES LIMITS OF THE UNIT.

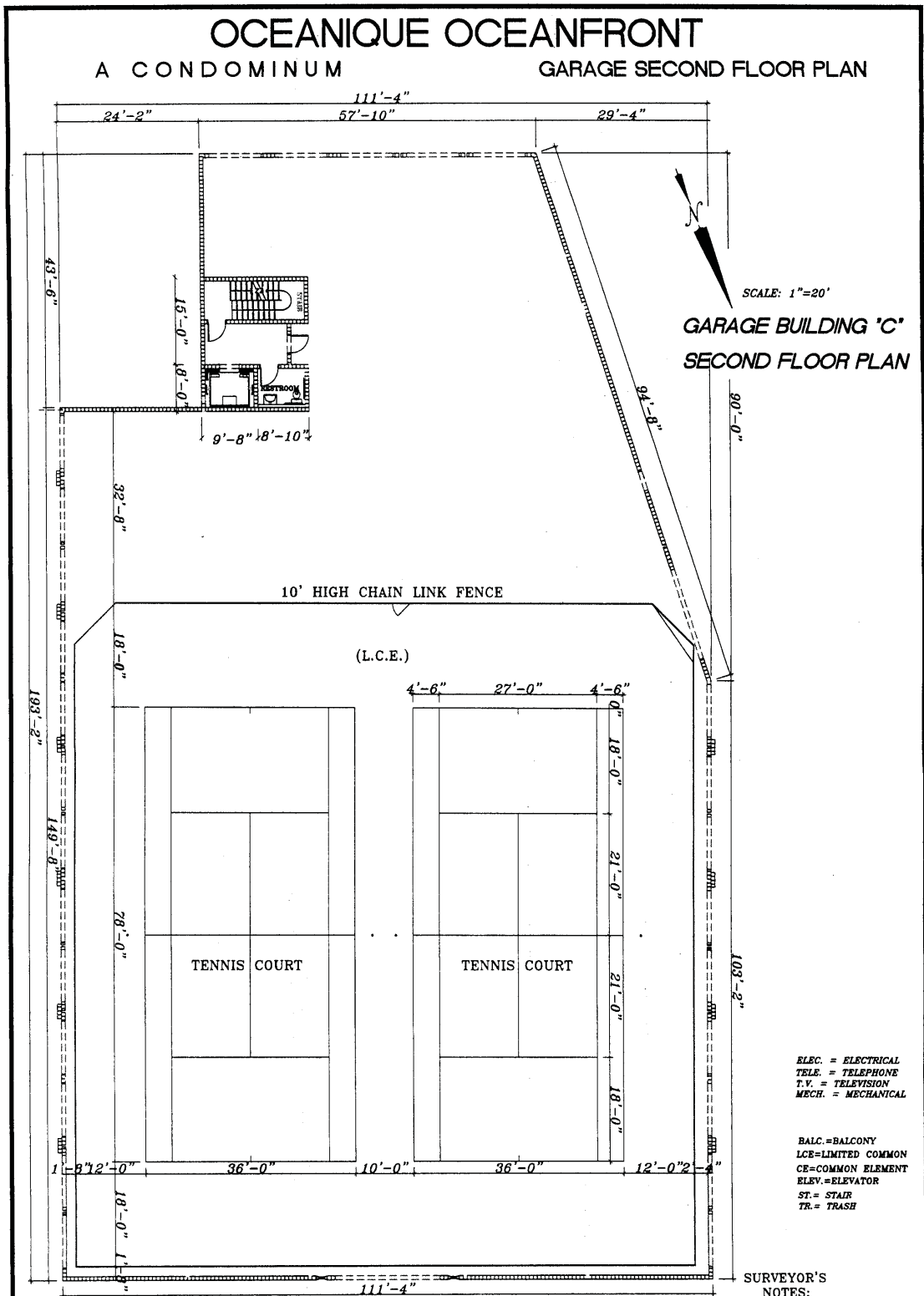
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LAND SURVEYORS AND CONSULTANTS

397 ASBURY AVE. N.E.
PALM BAY, FLORIDA 32907
(321)693-4593 FAX (321)726-0602

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LAND SURVEYORS
AND CONSULTANTS

397 ASBURY AVE. N.E.
PALM BAY, FLORIDA 32907
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1. THE FIRST FLOOR UNFINISHED FLOOR ELEVATION IS 21.91.
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